

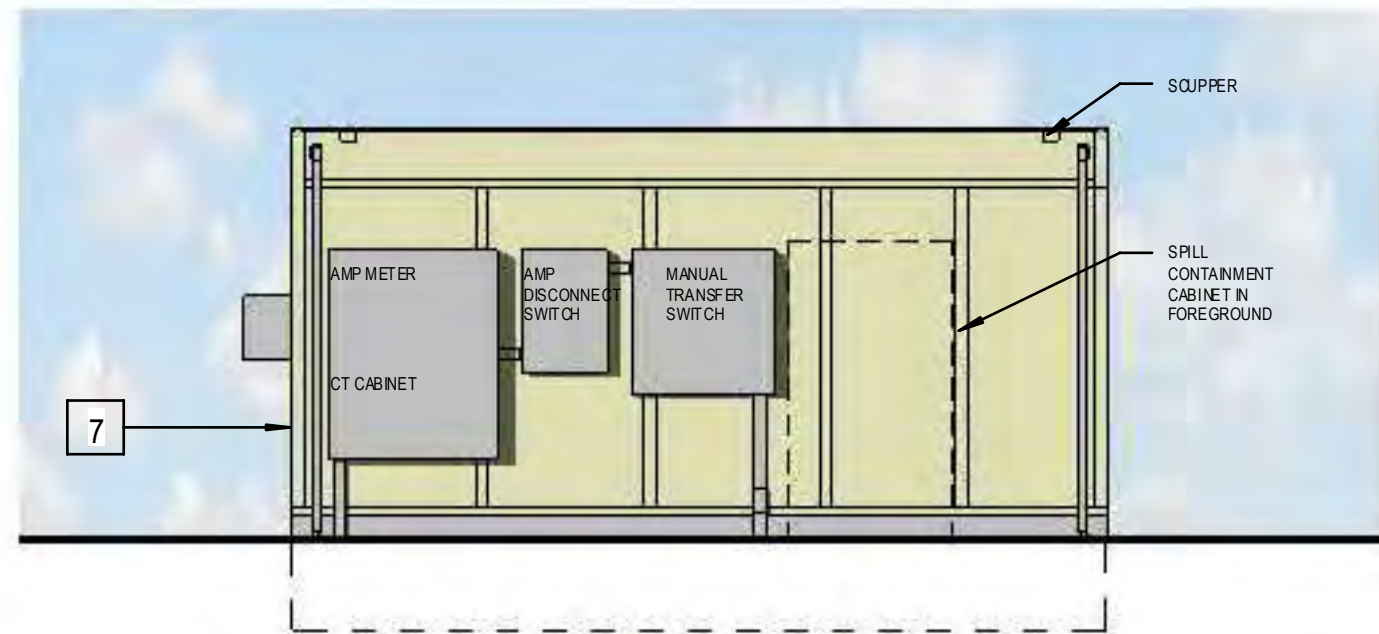
1 CANOPY AND DISPENSER ISLANDS
SCALE: 1/4" = 1'-0"

0717

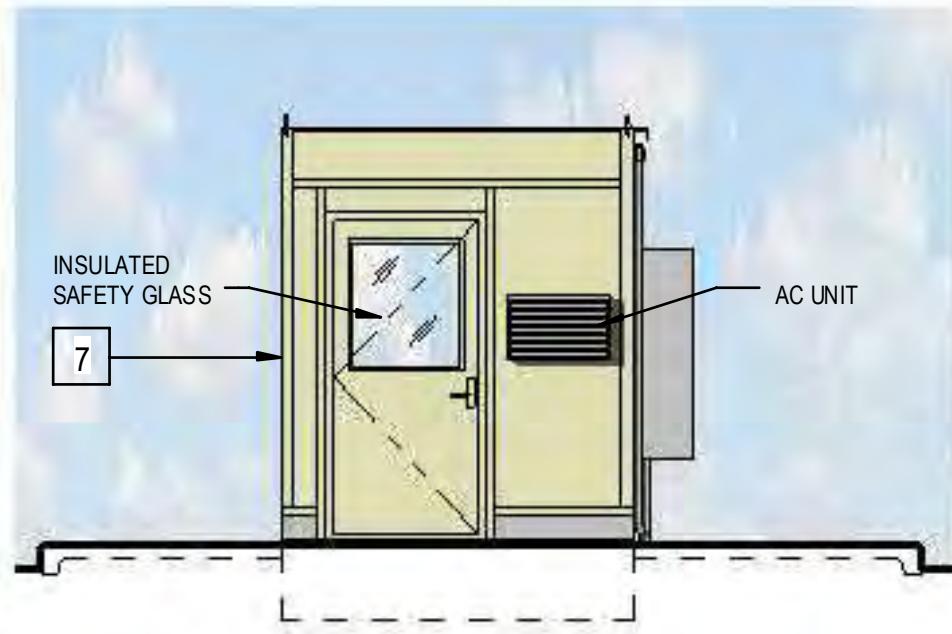


2 CANOPY AND DISPENSER ISLANDS
SCALE: 1/4" = 1'-0"

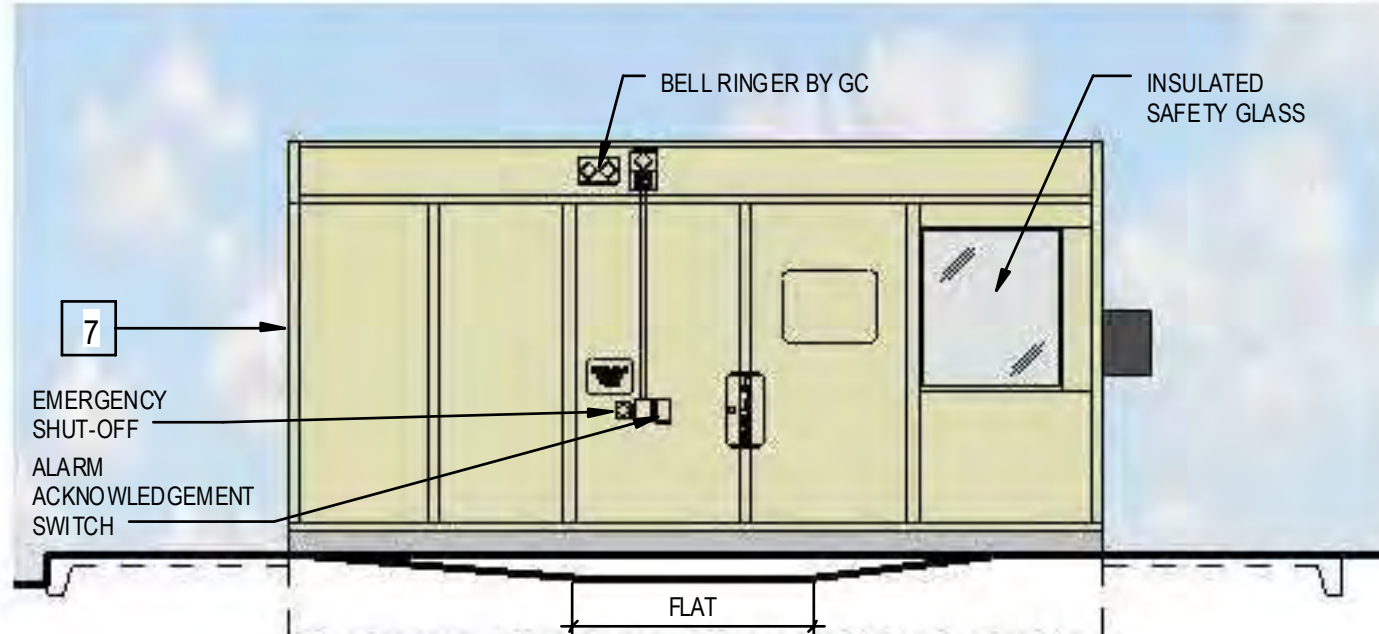
0717



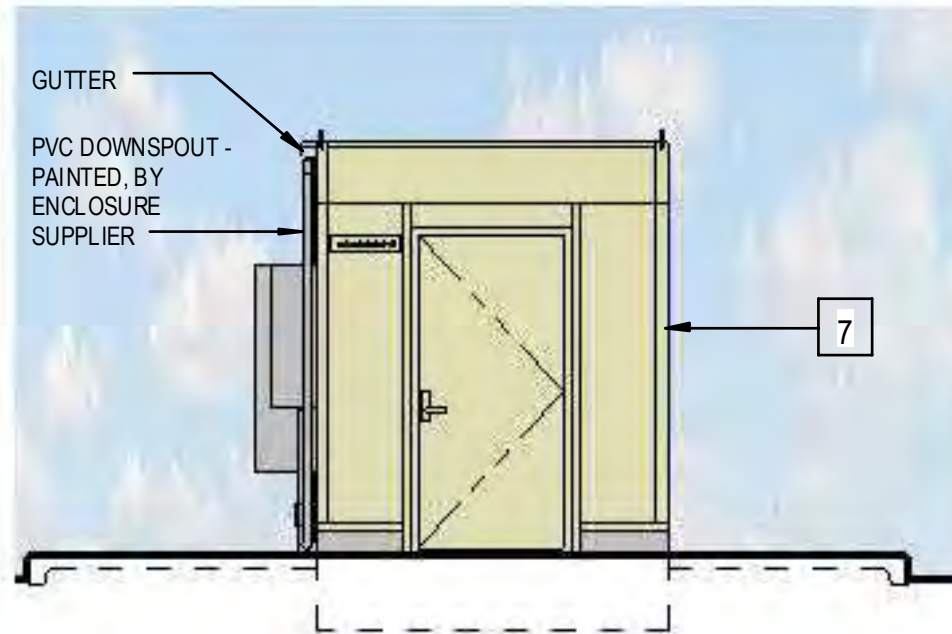
4 SIDE FACING AWAY FROM CANOPY
SCALE: 1/4" = 1'-0"



5 ENCLOSURE ENTRY
SCALE: 1/4" = 1'-0"



6 SIDE FACING CANOPY
SCALE: 1/4" = 1'-0"



7 ELECTRICAL ENTRY
SCALE: 1/4" = 1'-0"



3 CANOPY SIGN
SCALE: 1/2" = 1'-0"

KEYNOTES

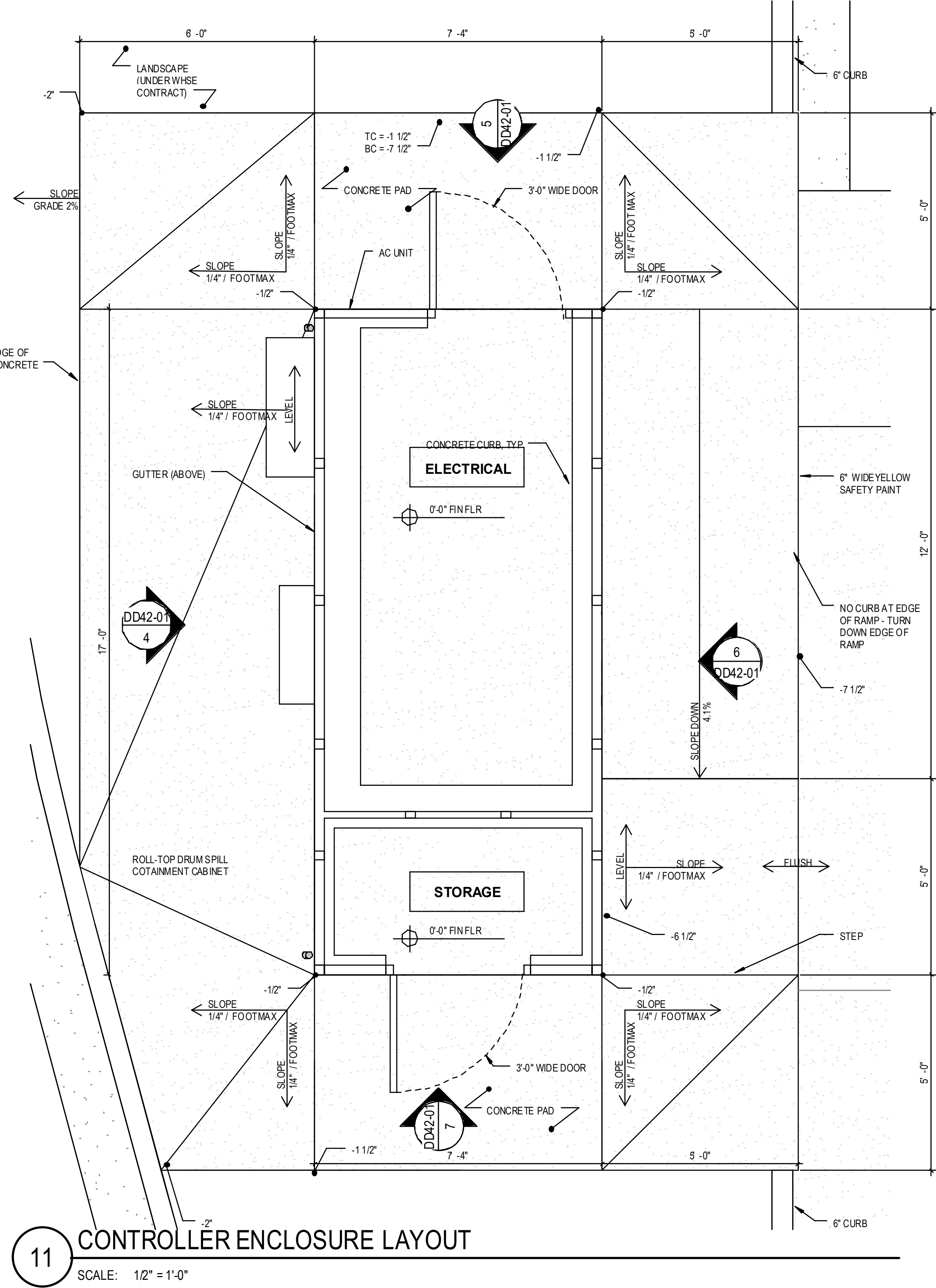
- 1 PRE-FINISHED METAL FASCIA PANEL - SUPPLIED AND INSTALLED BY CANOPY SUPPLIER UNDER SEPARATE CONTRACT
- 2 COLUMN - SEE STRUCT DWGS - SUPPLIED AND INSTALLED BY CANOPY SUPPLIER UNDER SEPARATE CONTRACT
- 3 ACCESSIBLE MULTIPRODUCT DISPENSER
- 4 CONCRETE-FILLED METAL FORMED GUARD AT ENDS OF ISLANDS - TOP OF GUARD AT 3'0" ABOVE TRAFFIC SURFACE - PAINT SIDES ONLY WITH GLOSS BLUE, REFER TO SPECIFICATION
- 5 RAISED CONCRETE ISLAND WITH METAL EDGE FORM - PAINT SIDES ONLY WITH GLOSS BLACK, REFER TO SPECIFICATION
- 6 WASTE RECEPTOR, BOLT DOWN, CENTER OF EACH ISLAND (SOIC)
- 7 CANOPY FASCIA SIGN LIGHT FIXTURE (SOIC) - REFER TO DETAIL
- 8 FIRE EXTINGUISHER AND CABINETS MOUNTED ON ENTRANCE SIDE OF COLUMNS - FIRE EXTINGUISHER CABINET TO BE: BROOKS MODEL # MARK II, RED CABINET WITH CLEAR COVER (OR EQUAL) - FIRE EXTINGUISHER AND CABINET, BY GC
- 9 VIDEO CAMERA - VERIFY LOCATION WITH OWNER CONSTRUCTION PROJECT MANAGER. GC SHALL RUN CONDUIT AND INSTALL 3" ROUND OR OCTAGONAL J-BOX FOR MOUNTING CAMERAS - SEE ELECTRICAL DRAWINGS
- 10 CALK PERIMETER OF DISPENSER BASE WITH PETROLEUM RESISTANT SEALANT - SEE T-DWGS, TYPICAL

EXTERIOR FINISH SCHEDULE

#	ITEM	MATERIAL	FINISH	COLOR	MANUFACTURER/NOTES
1	FASCIA	METAL	POWDER COATED	DESIGNER BEIGE PCTT20144	PRG
2	CONTROLLER ENCLOSURE	METAL	POWDER COATED	DESIGNER BEIGE PCTT20144	PRG
3	CANOPY CEILING	METAL	POWDER COATED	YELLOW GREYRAL 7034	PRG
4	COLUMN	METAL	POWDER COATED	MS19 SILVER PCTT31035	PRG

SIGNAGE AREA TABULATION (CANOPY SIGNS)

QTY	SIGN	SIZE	AREA (SQ. FT.)	TOTAL SF
1	COSTCO WHOLESALE (EAST FACADE)	2'-0" x 7'-0" 1/4"	14.04 SF	14.04 SF
1	COSTCO WHOLESALE (WEST FACADE)	2'-0" x 7'-0" 1/4"	14.04 SF	14.04 SF
1	COSTCO WHOLESALE (NORTH FACADE)	2'-0" x 7'-0" 1/4"	14.04 SF	14.04 SF
1	COSTCO WHOLESALE (SOUTH FACADE)	2'-0" x 7'-0" 1/4"	14.04 SF	14.04 SF
4			TOTAL SIGNAGE AREA	56.16 SF



COSTCO
WHOLESALE
STUART, FLORIDA

8444 Westpark Dr. Ste 120
McLean, VA 22102
703 564 8484
MG2.com

MG2

18-5324-01
DECEMBER 16, 2020

FUEL FACILITY

DD42-01

COSTCO WHOLESALE

STUART, FLORIDA

FUEL FACILITY

DECEMBER 16, 2020

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Applicant:
M&M Realty Partners
1260 Stelton Rd
Piscataway, NJ 07704
703-839-3776

Engineer: Maser Consulting 410 Eagleview Blvd, Suite 104 Exton, PA 19341 610-254-9140	Engineer: EDC Engineering Rod Kennedy 10250 SW Village Pkwy, Suite 201 Port St Lucie, Florida, 34987
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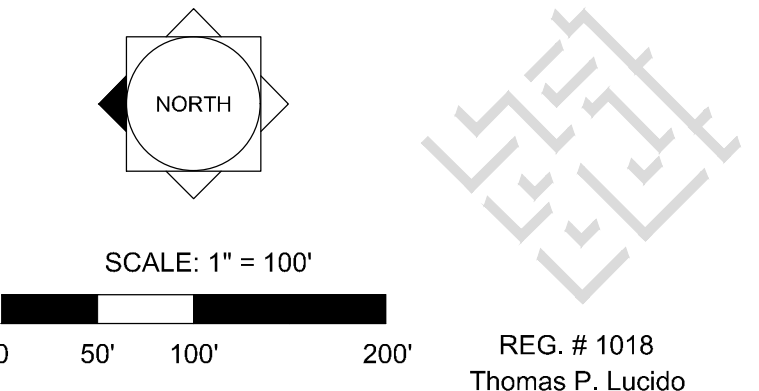
Surveyor:
EDC Engineering
Rod Kennedy
10250 SW Village Pkwy, Suite 201
Port St Lucie, Florida, 34987

Landscape Architect/Land Planner:
Lucido & Associates
701 E Ocean Blvd
Stuart, FL 34904
772-220-2100

Environmental
EW Consultants
Ed Weinberg
1000 SE Monterey Commons Blvd #208
Stuart, Florida 34996

City of Stuart, Martin County, Florida

Date	By	Description
8.21.2020	SLS	Initial Submittal
12.18.2020	SLS	1st Resubmittal
03.16.2021	SLS	2nd Resubmittal
04.21.2021	SLS	3rd Resubmittal



Designer --- Sheet
 Manager --- **1 of 1**
 Project Number ---
 Municipal Number ---
 Computer File 19-935 - Costco Master Site Plan.dwg

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Total Site Area:	2,133,987 sf	(48.99 ac)	100%
Future Land Use Designation (Proposed):	Neighborhood Special District		
Proposed Zoning:			CPUD
Building Height (max):			45'
Total Building Area:	370,876 sf	(8.52 ac)	17.4%

Impervious Area:	1,525,706 sf	(35.03 ac)	71.5%
Buildings:	370,876 sf	(8.52 ac)	17.4%
Pavement & Curb:	878,518 sf	(20.17 ac)	41.2%
Sidewalks, Patios & Pool:	83,690 sf	(1.92 ac)	3.9%
Lakes:	113,807 sf	(2.61 ac)	5.3%
DOT Basin:	78,815 sf	(1.81 ac)	3.7%
Pervious Area:	608,281 sf	(13.96 ac)	28.5%
Landscape:	535,566 sf	(12.29 ac)	25.1%
Dry Retention Areas:	54,855 sf	(1.26 ac)	2.6%
Bio Retention Area:	17,860 sf	(0.41 ac)	0.8%
Open Space			
Required: (25% of 48.99 ac)		(12.25 ac)	25.0%
Provided:		(12.28 ac)	25.1%
* Includes Landscape, Dry Retention Areas & Bio Retention Area, Excludes Interior Landscape Areas			
Interior Landscape Areas:		(1.70 ac)	3.5%

Parking Required (per Kanner CPUD):		
Retail, bulk merchandise (1 space / 250 sf):	155,986 sf / 250 sf = 624 Spaces	
Fuel Facility (1 space / 250 sf + 2 / bay + 1/vacuum):		20 Spaces
Retail (1 space / 250 sf):	19,250 sf / 250 sf = 77 Spaces	
Restaurant 1 (1 space per Seats = 1 per each employee):		
@ 270 seats = 14 employees:		104 Spaces
Restaurant 2 (1 space per Seats = 1 per each employee):		
@ 270 seats = 14 employees:		104 Spaces
Multi-Family		722 Spaces
One Bedroom Units (148) @ 1.5 per unit:	222 Spaces	
Two Bedroom Units (240) @ 2.0 per unit:	480 Spaces	
Three Bedroom Units (10) @ 2.0 per unit:	20 Spaces	
Total Parking Required:		1,651 Spaces

Parking Provided:		
Retail, bulk merchandise (per Kanner CPUD):		720 Spaces
Standard:		692 Spaces
Handicap:		28 Spaces
Fuel Facility:		20 Spaces
Retail:		80 Spaces
Standard:		74 Spaces
Handicap:		6 Spaces
Restaurant:		104 Spaces
Standard:		100 Spaces
Handicap:		4 Spaces
Restaurant:		104 Spaces
Standard:		100 Spaces
Handicap:		4 Spaces
Multi-Family (per Kanner CPUD 1.76 spaces / unit):		700 Spaces
Standard:		683 Spaces
Handicap:		17 Spaces

Bicycle Parking	
Retail, Bulk Merchandise	Buildings 3 & 4
Required: 20 Spaces	Required: 8 Spaces
Provided: 20 Spaces	Provided: 8 Spaces
Buildings 1 & 2	Multifamily
Required: 6 Spaces	Required: 20 Spaces
Provided: 6 Spaces	Provided: 20 Spaces

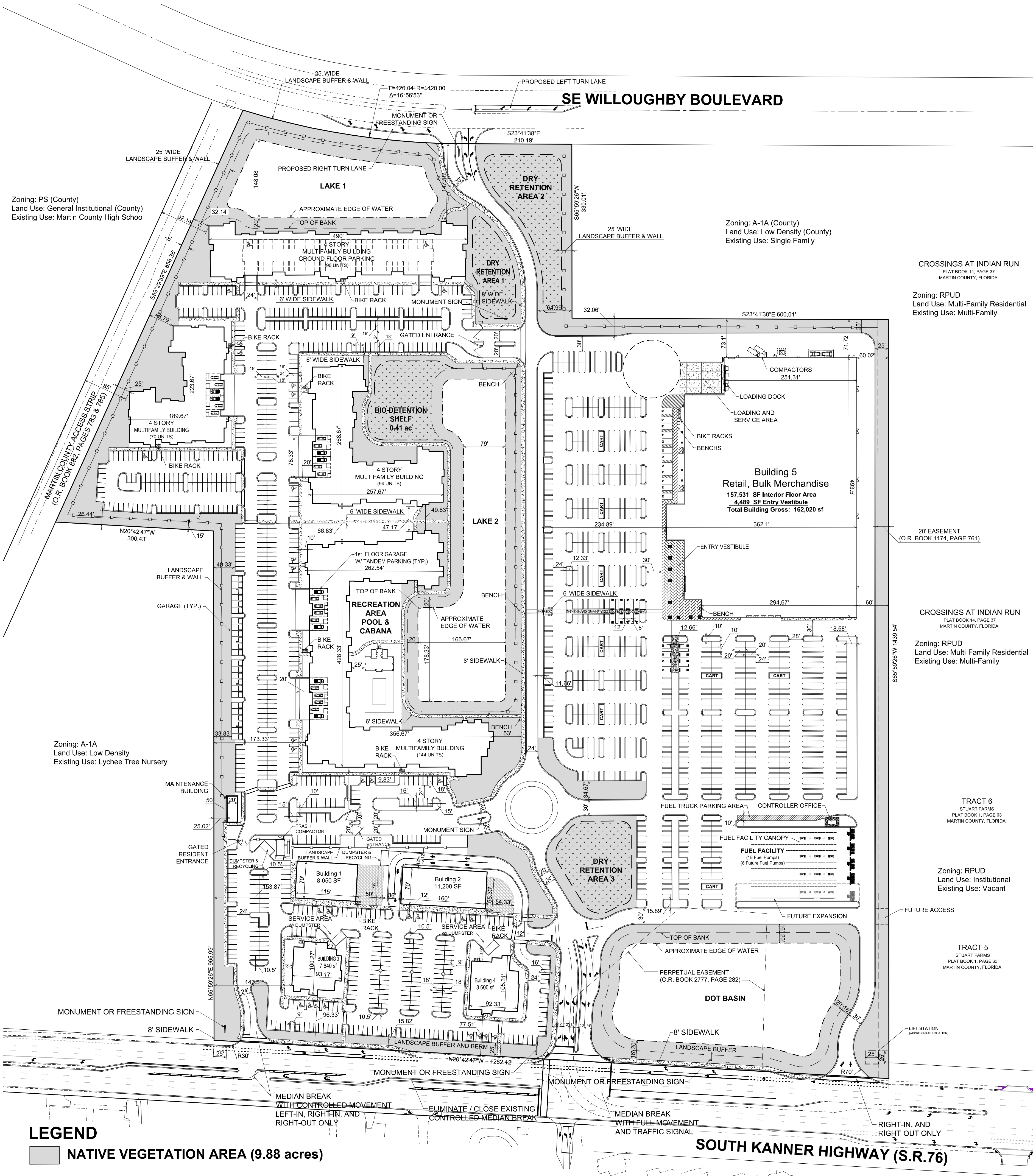
Residential Density		Total Site Area:
Maximum UPA (Non-CRA):	15.0	Right of Way:
Provided UPA:	8.1 UPA (398 units / 48.99 ac)	Residential:
Site Area	48.99 ac	Commercial:
Residential		Retail, Bulk Merchandise
Provided Area:	14.70 ac 30.0%	Kanner Highway
Non-Residential		Stormwater Treatment
Provided Area:	34.29 ac 70.0%	Lake 1:
Commercial Areas:	22.91 ac 46.8%	Lake 2:
Stormwater Tracts:	8.86 ac 18.1%	7d Retention Area
Right of Way:	2.52 ac 5.1%	7d Retention Area
Non-Residential Floor Area Ratio		7d Retention Area
Maximum Allowable Area:	4,267,974 sq. 2.0 F.A.R.	DOT Basin:
Provided Area:	193,146 sq. 0.09 F.A.R.	

Building Coverage:	370,876 sf	Residential
Retail, Bulk Merchandise:	157,531 sf	Residential Units:
Fuel Facility Office:	125 sf	Density Overall Site:
Retail:	19,250 sf	Commercial
Restaurant:	16,240 sf	Project Site Area:
Multi-Family (Includes Garages, Cabana & Maintenance):	177,730 sf	Total Commercial

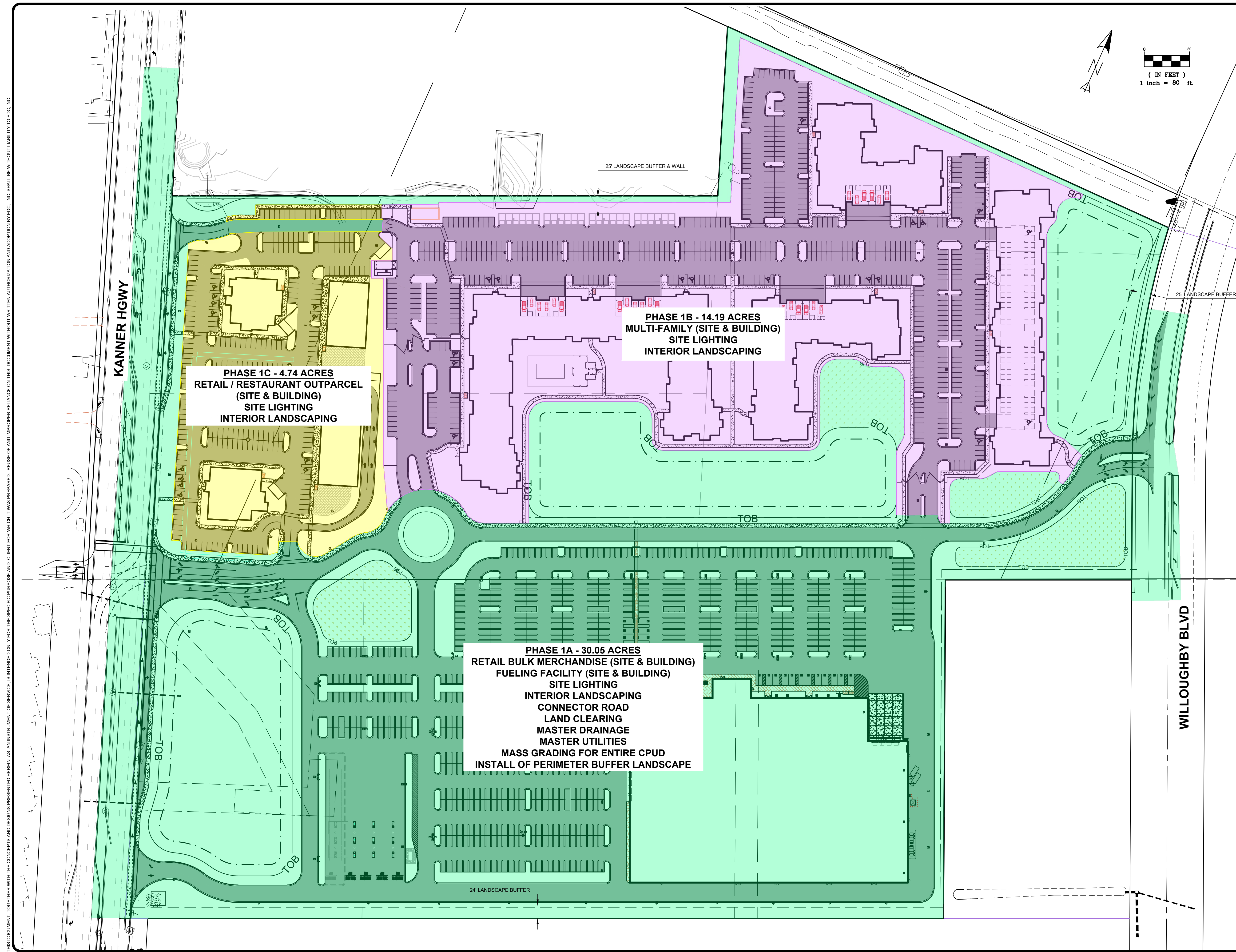
Total Site Area:	48.99 acres
Wetlands:	6.50 acres
Surface Waters:	<u>4.10 acres</u>
Upland Area:	38.39 acres



Required Native Landscape Area (25.0%): 9.60 acres
 Provided Native Landscape Area (25.7%): 9.88 acres

- All building, parking and access areas shall document compliance with the requirements of the American Disabilities Act prior to the issuance of a building permit.
- Refer to Landscape Plan for landscape details and specifications.
- All exotic plant species shall be removed and all required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- The applicant will request in writing, prior to any land clearing, that the City of Stuart Development Dept. Perform a field inspection to determine if barricades have been properly installed on the site.
- All signs will comply with the sign regulations at the time of permitting.
- "No Trespass" signs to be posted during construction and displayed at all entrances and exits.
- All building numbers to be no less than four (4) inches tall, illuminated, and not blocked by landscaping.
- Building numbers shall be placed at front and rear entrances.
- Sediment control measures shall be maintained in working order at all times.
- Provision shall be made to minimize the degree of sediment by transport vehicles onto public paved surfaces.
- Sediment basin and traps, perimeter dikes, sediment barriers and other measures intended to trap sediment shall be constructed as a first step in any land activity and shall be maintained before land disturbance takes place.
- All public sidewalks are to be a minimum of 6' in width.
- A crime watch contact shall be established on site, to include all residents and businesses.
- Any sidewalk damaged during construction shall be repaired or replaced.
- A/C Units, trash receptacles, back flow preventer, and other above ground utilities shall be screened with landscape per City of Stuart LDR.
- Knock Box key vaults shall be provided as required.
- No permanent structures shall be permitted on any temporary construction trailer shall be allowed during the construction activities.
- Detectable warning surfaces shall be provided at all sidewalk ramps and crosswalks.
- Buildings 1, 2, 3, 4 & 5 may include any use allowed in the CPUD Agreement and any additional additional parking required shall be debited against the excess parking provided.



NATIVE VEGETATION AREA (9.88 acres)



 ENGINEERS & SURVEYORS ENVIRONMENTAL	
10250 VILLAGE PARKWAY SUITE 201 PORT ST. LUCIE, FL 34987 ☎️ 772-462-2455 www.edc-inc.com	
F.B.P.E. CERTIFICATE OF AUTHORIZATION #6935 L.B. CERTIFICATE OF AUTHORIZATION #098	
<p style="margin-top: -20px;"><small>DCB</small></p> <p>DESIGNED BY _____ JLW</p> <p>DRAWN BY _____ JLW</p> <hr/> <p style="text-align: center;"><small>FLEETNAME</small></p> <p>Phasing Plan LAYOUT AS SHOWN SCALE DATE _____ DRAWN BY _____</p>	<p style="text-align: right;"><small>REVISION COMMENTS</small></p> <p style="text-align: right;"><small>DATE</small></p>
<div style="display: flex; justify-content: space-between;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; font-size: large;">KANNER CPUD</div> <div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; font-size: x-large;">PHASING PLAN</div> <div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; font-size: medium;">FLORIDA</div> </div>	
<div style="display: flex; justify-content: space-between;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; font-size: large;">STUART</div> </div>	
<div style="border: 1px solid black; padding: 5px;"> <small>DAVID C. BAGGETT, P.E.(DATE)</small> #81375 </div> <div style="text-align: center; margin-top: 10px;">  </div> <div style="text-align: center; margin-top: 5px;"> <small>10250 SW VILLAGE PARKWAY - SUITE 201 PORT SAINT LUCIE, FL 34987 ☎️ 772-462-2455</small> </div>	
20-313	
1 OF 1	

2:EDC-202003-313 - Colston Stuart - Kanner Highway/SURVEY/Dwg - PDF Survey/20-313 SURVEY.DWG, 2/26/2021 10:31 AM
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TITLE COMMITMENT
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
COMMITMENT # 807683 A1
COMMITMENT DATE: NOVEMBER 22, 2020, AT 11:00 PM
SCHEDULE B-II ITEMS

- DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE COMMITMENT DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. **NOT A SURVEY MATTER.**
- A. GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2019 AND SUBSEQUENT YEARS. **NOT A SURVEY MATTER.**
B. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
C. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR ADVERSE CIRCUMSTANCE THAT WOULD BE DISCLOSED BY AN INSPECTION OR AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND INSPECTION OF THE LAND. **NOT A SURVEY MATTER.**
D. EASEMENTS OR CLAIMS OF EASEMENTS NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
E. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL FURNISHED, IMPOSED BY LAW AND NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
- ANY OWNER'S POLICY ISSUED PURSUANT HERETO WILL CONTAIN UNDER SCHEDULE B THE FOLLOWING EXCEPTION: ANY ADVERSE OWNERSHIP CLAIM BY THE STATE OF FLORIDA BY RIGHT OF SOVEREIGNTY TO ANY PORTION OF THE LAND INSURED HEREUNDER, INCLUDING SUBMERGED, FILLED AND ARTIFICIALLY EXPOSED LANDS, AND LANDS ACCRETED TO SUCH LANDS. **NOT A SURVEY MATTER.**
ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, F.S., IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY, FOR UNPAID SERVICE CHARGES FOR SERVICES BY ANY WATER SYSTEMS, SEWER SYSTEMS OR GAS SYSTEMS SERVING THE LAND DESCRIBED HEREIN; AND ANY LIEN FOR WASTE FEES IN FAVOR OF ANY COUNTY OR MUNICIPALITY. **NOT A SURVEY MATTER.**
- RIGHTS OF THE LESSEES UNDER UNRECORDED LEASES. **NOT A SURVEY MATTER.**
EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH RECORDED IN DEED BOOK 42, PAGE 63, AS AFFECTED BY ASSIGNMENT RECORDED IN O.R. BOOK 821, PAGE 1406, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. (AS TO PARCEL 1) **AFFECTS PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.**
- ORDINANCE NO. 2337-2017, REGARDING ANNEXATION, RECORDED IN O.R. BOOK 2902, PAGE 693, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. (AS TO BOTH PARCELS) **NOT A SURVEY MATTER, AFFECTS PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.**
- COMMITMENT EXCEPTION #3 IS HEREBY DELETED IN ITS ENTIRETY. **NOT A SURVEY MATTER.**

TITLE COMMITMENT
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
COMMITMENT # 807690 A1
COMMITMENT DATE: NOVEMBER 3, 2020, AT 11:00 PM
SCHEDULE B-II ITEMS

- DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE COMMITMENT DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. **AFFECTS SUBJECT PROPERTY; NOT A SURVEY MATTER.**
- A. GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2021 AND SUBSEQUENT YEARS. **NOT A SURVEY MATTER.**
B. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
C. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR ADVERSE CIRCUMSTANCE THAT WOULD BE DISCLOSED BY AN INSPECTION OR AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND INSPECTION OF THE LAND. **NOT A SURVEY MATTER.**
D. EASEMENTS OR CLAIMS OF EASEMENTS NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
E. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL FURNISHED, IMPOSED BY LAW AND NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
- ANY OWNER'S POLICY ISSUED PURSUANT HERETO WILL CONTAIN UNDER SCHEDULE B THE FOLLOWING EXCEPTION: ANY ADVERSE OWNERSHIP CLAIM BY THE STATE OF FLORIDA BY RIGHT OF SOVEREIGNTY TO ANY PORTION OF THE LAND INSURED HEREUNDER, INCLUDING SUBMERGED, FILLED AND ARTIFICIALLY EXPOSED LANDS, AND LANDS ACCRETED TO SUCH LANDS. **NOT A SURVEY MATTER.**
ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, F.S., IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY, FOR UNPAID SERVICE CHARGES FOR SERVICES BY ANY WATER SYSTEMS, SEWER SYSTEMS OR GAS SYSTEMS SERVING THE LAND DESCRIBED HEREIN; AND ANY LIEN FOR WASTE FEES IN FAVOR OF ANY COUNTY OR MUNICIPALITY. **NOT A SURVEY MATTER.**
- EASEMENT IN FAVOR OF AMERICAN TELEPHONE AND TELEGRAPH COMPANY RECORDED IN DEED BOOK 42, PAGE 63, TOGETHER WITH ASSIGNMENT RECORDED IN O.R. BOOK 821, PAGE 1406, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.**
- RIGHTS OF THE LESSEES UNDER UNRECORDED LEASES. **NOT A SURVEY MATTER.**

LEGAL DESCRIPTION:

TITLE COMMITMENT # 807683

PARCEL 1 :
THE REAL PROPERTY LYING AND BEING IN GOVERNMENT LOT 5 AND 6, SECTION 16, TOWNSHIP 38 SOUTH , RANGE 41 EAST, MARTIN COUNTY, FLORIDA, DESCRIBED AS:
BEGINNING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF THE HANSON GRANT AND THE CENTERLINE OF STATE ROAD 76, THENCE PROCEED NORTH 66°18'30" EAST ALONG THE NORTH LINE OF THE HANSON GRANT FOR A DISTANCE OF 50.08 FEET TO A CONCRETE MONUMENT ON THE EAST RIGHT OF WAY LINE OF STATE ROAD 76, THENCE PROCEED NORTH 20°23'20" WEST ALONG THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD 76 FOR A DISTANCE OF 330 FEET AND THE POINT OR PLACE OF BEGINNING, THENCE PROCEED NORTH 66°18'30" EAST FOR A DISTANCE OF 984.42 FEET TO A POINT, THENCE PROCEED NORTH 20°23'20" WEST FOR A DISTANCE OF 350 FEET TO A POINT, THENCE PROCEED SOUTH 66°18'30" WEST FOR A DISTANCE OF 984.42 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD 76; THENCE PROCEED SOUTH 20°23'20" EAST ALONG THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD 76 FOR A DISTANCE OF 350 FEET TO THE POINT OR PLACE OF BEGINNING.
LESS AND EXCEPT PARCEL NO. 145 CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION, RECORDED IN O.R. BOOK 951, PAGE 284, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
THAT PART OF GOVERNMENT LOT 5, SECTION 16, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID GOVERNMENT LOT 5, THENCE SOUTH 66°02'08" WEST ALONG THE SOUTH LINE OF SAID GOVERNMENT LOT 5, A DISTANCE OF 127.80 FEET TO A POINT ON THE EASTERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 76 (KANNER HIGHWAY); THENCE NORTH 20°39'37" WEST ALONG SAID EASTERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 330.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 20°39'37" WEST ALONG SAID EXISTING RIGHT OF WAY LINE, A DISTANCE OF 350.00 FEET; THENCE NORTH 66°02'08" EAST, A DISTANCE OF 20.03 FEET; THENCE SOUTH 20°39'37" EAST, A DISTANCE OF 350.00 FEET; THENCE SOUTH 66°02'08" WEST, A DISTANCE OF 20.03 FEET.

PARCEL 2:
A PARCEL OF LAND LYING IN GOVERNMENT LOTS 6 AND 7, SECTION 16, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF TRACT 2, STUART FARMS, AS RECORDED IN PLAT BOOK 1, PAGE 63, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, POINT ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF S.E. WILLOUGHBY BOULEVARD; THENCE NORTH 23°40'21" WEST ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 208.04 FEET TO A POINT OF CURVATURE CONCAVE TO THE EAST; THENCE NORTHERLY ALONG SAID CURVE AND SAID WESTERLY RIGHT-OF-WAY LINE HAVING A RADIUS OF 1420.00 FEET, A CENTRAL ANGLE OF 14°55'37", AND AN ARC LENGTH OF 369.95 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 66°43'59" WEST, FOR A DISTANCE OF 791.02 FEET TO A POINT; THENCE NORTH 20°39'22" WEST FOR A DISTANCE OF 395.23 FEET TO A POINT ON THE SOUTH LINE OF A MARTIN COUNTY ACCESS STRIP RECORDED IN OFFICIAL RECORDS BOOK 882, PAGES 783 AND 785, MARTIN COUNTY, FLORIDA; THENCE SOUTH 89°28'43" EAST ALONG SAID MARTIN COUNTY ACCESS STRIP, FOR A DISTANCE OF 859.34 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF S.E. WILLOUGHBY BOULEVARD, POINT ALSO BEING ON THE ARC OF A CURVE CONCAVE TO THE EAST, RADIAL LINE BEARS NORTH 82°49'31" EAST; THENCE SOUTHERLY ALONG SAID CURVE AND SAID WESTERLY RIGHT-OF-WAY LINE, HAVING A RADIUS OF 1420.00 FEET, A CENTRAL ANGLE OF 02°01'03", AND AN ARC LENGTH OF 50 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION:

TITLE COMMITMENT # 807690

A PARCEL OF LAND LYING IN GOVERNMENT LOTS 5, 6, AND 7, SECTION 16, TOWNSHIP 38 SOUTH RANGE 41 EAST, MARTIN COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS :
BEGINNING AT THE NORTHEAST CORNER OF TRACT 2, STUART FARMS, AS RECORDED IN PLAT BOOK 1, PAGE 63, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, POINT ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF S.E. WILLOUGHBY BOULEVARD AND ALSO BEING A POINT ON THE NORTH LINE OF THE HANSON GRANT; THENCE SOUTH 65°51'31" WEST ALONG THE NORTH LINE OF SAID HANSON GRANT, FOR A DISTANCE OF 1738.28 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SOUTH KANNER HIGHWAY (S.R. 76); THENCE NORTH 20°39'22" WEST ALONG SAID EASTERLY RIGHT OF WAY LINE, FOR A DISTANCE OF 330.00 FEET TO A POINT, THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE, NORTH 65°51'31" EAST, FOR A DISTANCE OF 964.39 FEET TO A POINT; THENCE NORTH 20°39'22" WEST, FOR A DISTANCE OF 256.55 FEET TO A POINT; THENCE NORTH 66°43'59" EAST, FOR A DISTANCE OF 791.02 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF S.E. WILLOUGHBY BOULEVARD, SAID POINT ALSO BEING A POINT ON A NON-TANGENT CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 1420.00 FEET, A CENTRAL ANGLE OF 14°55'37", A CHORD BEARING OF SOUTH 16°11'46" EAST AND A CHORD LENGTH OF 368.90 FEET; THENCE TRAVEL COUNTER-CLOCKWISE ALONG THE ARC OF SAID NON-TANGENT CURVE AND THE WESTERLY RIGHT-OF-WAY LINE OF S.E. WILLOUGHBY BOULEVARD, FOR A DISTANCE OF 369.95 FEET TO A POINT OF TANGENCY; THENCE SOUTH 23°40'21" EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 208.04 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION:

TITLE COMMITMENT # 807694

A PARCEL OF LAND LYING WITHIN THE HANSON GRANT, MARTIN COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:
THE WESTERLY 330.00 FEET OF LOT 2, AND ALL OF LOTS 3 AND 4 OF STUART FARMS, AS RECORDED IN PLAT BOOK I, PAGE 63, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, NOW SITUATED, LYING AND BEING IN MARTIN COUNTY, FLORIDA.
LESS AND EXCEPT
THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION AS RECORDED IN OFFICIAL RECORDS BOOK 951, PAGE 282, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
A 10 FOOT WIDE PARCEL OF LAND OVER THE WESTERLY PORTION OF LOT 4, ACCORDING TO THE PLAT OF STUART FARMS, AS RECORDED IN PLAT BOOK 1, PAGE 63, PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, LYING EASTERLY OF STATE ROAD 76, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF SAID LOT 4; THENCE RUN SOUTH 66°02'08" WEST, ALONG THE NORTH LINE OF SAID LOT 4 AND ALONG THE NORTH LINE OF HANSON GRANT, A DISTANCE OF 376.46 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 66°02'08" WEST, ALONG THE NORTH LINE OF SAID LOT 4, A DISTANCE OF 10.01 FEET; THENCE SOUTH 20°39'37" EAST, ALONG A LINE THAT IS 10 FEET EASTERLY OF, AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE EASTERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE STATE ROAD 76, A DISTANCE OF 600.55 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 4; THENCE NORTH 66°06'12" EAST, ALONG THE SOUTH LINE OF SAID LOT 4, A DISTANCE OF 10.01 FEET; THENCE NORTH 20°39'37" WEST, ALONG A LINE 20 FEET EASTERLY OF AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE EASTERLY RIGHT OF WAY LINE OF THE SAID 100 FOOT WIDE STATE ROAD 76, A DISTANCE OF 600.56 FEET TO THE POINT OF BEGINNING.
TOGETHER WITH AN ABANDONED 40 FOOT DEDICATED RIGHT OF WAY LYING BETWEEN SAID LOTS 2 AND 3.

TITLE COMMITMENT
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
COMMITMENT # 807694 A1
COMMITMENT DATE: NOVEMBER 2, 2020, AT 11:00 PM
SCHEDULE B-II ITEMS

- DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE COMMITMENT DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. **AFFECTS SUBJECT PROPERTY; NOT A SURVEY MATTER.**
- A. GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2019 AND SUBSEQUENT YEARS. **NOT A SURVEY MATTER.**
B. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
C. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR ADVERSE CIRCUMSTANCE THAT WOULD BE DISCLOSED BY AN INSPECTION OR AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND INSPECTION OF THE LAND. **NOT A SURVEY MATTER.**
D. EASEMENTS OR CLAIMS OF EASEMENTS NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
E. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL FURNISHED, IMPOSED BY LAW AND NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
- ANY OWNER'S POLICY ISSUED PURSUANT HERETO WILL CONTAIN UNDER SCHEDULE B THE FOLLOWING EXCEPTION: ANY ADVERSE OWNERSHIP CLAIM BY THE STATE OF FLORIDA BY RIGHT OF SOVEREIGNTY TO ANY PORTION OF THE LAND INSURED HEREUNDER, INCLUDING SUBMERGED, FILLED AND ARTIFICIALLY EXPOSED LANDS, AND LANDS ACCRETED TO SUCH LANDS.
ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, F.S., IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY, FOR UNPAID SERVICE CHARGES FOR SERVICES BY ANY WATER SYSTEMS, SEWER SYSTEMS OR GAS SYSTEMS SERVING THE LAND DESCRIBED HEREIN; AND ANY LIEN FOR WASTE FEES IN FAVOR OF ANY COUNTY OR MUNICIPALITY. **NOT A SURVEY MATTER.**
- RIGHTS OF THE LESSEES UNDER UNRECORDED LEASES. **NOT A SURVEY MATTER.**
ALL MATTERS CONTAINED ON THE PLAT OF STUART FARMS, AS RECORDED IN PLAT BOOK 1, PAGE 63, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, NOW SITUATED, LYING AND BEING IN MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, SHOWN ON SURVEY.**
- RESOLUTION NO. 51-96 CREATING UTILITY EASEMENT RECORDED IN O.R. BOOK 1174, PAGE 761, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, SHOWN ON SURVEY.**
- PERPETUAL EASEMENT IN FAVOR OF THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION RECORDED IN O.R. BOOK 2777, PAGE 775, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, SHOWN ON SURVEY.**
- UTILITY EASEMENT IN FAVOR OF THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION RECORDED IN O.R. BOOK 2777, PAGE 782, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, SHOWN ON SURVEY.**
- RESERVATIONS IN FAVOR OF THE STATE OF FLORIDA, AS SET FORTH IN THE DEED FROM THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA RECORDED, UNDER DEED BOOK 31, PAGE 137; PARTIALLY RELEASED IN O.R. BOOK 318, PAGE 309; TRANSFER OF ROAD RIGHT OF WAY RESERVATION RECORDED IN O.R. BOOK 835, PAGE 1822, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, SHOWN ON SURVEY.**
- EASEMENT TO FLORIDA POWER AND LIGHT COMPANY RECORDED IN O.R. BOOK 179, PAGE 275, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **DOES NOT AFFECT PROPERTY, EASEMENT NOW IN RIGHT-OF-WAY OF STATE ROAD 76.**
- EASEMENT RECORDED IN DEED BOOK 12, PAGE 285, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, SHOWN ON SURVEY.**
- OUTFALL DITCH EASEMENT RECORDED IN DEED BOOK 42, PAGE 432, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, SHOWN ON SURVEY.**
- RIGHT OF WAY RESOLUTION RECORDED IN O.R. BOOK 774, PAGE 1469, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.**
- ORDINANCE NO. 2327-16 RECORDED IN O.R. BOOK 2875, PAGE 760, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, PROVIDING FOR ANNEXATION OF SUBJECT PROPERTY INTO THE CITY OF STUART. **AFFECTS PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.**
- DEED RECORDED IN O.R. BOOK 2822, PAGE 939, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. SUBJECT TO AUTOMATIC PHOSPHATE, METALS, MINERALS AND PETROLEUM RESERVATIONS BY VIRTUE OF SEC. 270.11(1), F.S. **AFFECTS PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.**
- SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN THAT CERTAIN DEED RECORDED IN O.R. BOOK 2822, PAGE 939, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, RELATED TO PERMITTING REQUIREMENTS. **NOT A SURVEY MATTER.**
- RIPARIAN AND LITTORAL RIGHTS ARE NOT INSURED. **NOT A SURVEY MATTER.**
- ANY PORTION OF THE LAND LYING WATERWARD OF THE ORDINARY HIGH WATER MARK OF LAKE, AND LANDS ACCRETED THERETO. **NOT A SURVEY MATTER.**



MARTIN COUNTY, FLORIDA
VICINITY MAP
1" = 3000'

SURVEYORS NOTES AND REPORT:

- REPRODUCTIONS OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. THIS SURVEY CANNOT BE TRANSFERRED OR ASSIGNED WITHOUT THE SPECIFIC WRITTEN PERMISSION OF ENGINEERING, DESIGN AND CONSTRUCTION, INC. IT IS A VIOLATION OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- THE LAST DATE OF FIELD WORK WAS NOVEMBER 2, 2020.
- CURRENT DESCRIPTION(S) SHOWN HEREON PROVIDED BY: THE CLIENT. A TITLE SEARCH FOR THIS PROPERTY HAS BEEN ABSTRACTED TO SHOW MATTERS OF RECORD SUCH AS EASEMENTS OR OTHER ENCUMBRANCES OR RESTRICTIONS.
- PARCELS CONTAIN A TOTAL OF 48.99 ACRES, MORE OR LESS.
- THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN THE MINIMUM TECHNICAL STANDARDS (61G17-8 F.A.C.), IS "COMMERCIAL." THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 10,000 FEET. THIS SURVEY EXCEEDS THE REQUIRED DISTANCE ACCURACY.
- THIS BOUNDARY SURVEY HAS BEEN REFERENCED TO THE FLORIDA STATE PLANE BOUNDARY SYSTEM-EAST ZONE, NAD 83 (1990).
- THE TOPOGRAPHIC AND TREE DATA COLLECTED AND DEPICTED ON THIS SURVEY IS OF SPECIFIC AREAS PREDETERMINED BY THE CLIENT AT THE TIME OF SURVEY REQUEST.
- REVISIONS SHOWN HEREON DO NOT REPRESENT A "FIELD SURVEY UPDATE" UNLESS OTHERWISE NOTED.
- BEARINGS SHOWN HEREON ARE BASED UPON THE NORTH LINE OF THE LAND LABELED HERON AS (BEARING BASIS) AND ALL OTHER BEARINGS ARE RELATIVE THERETO. DISTANCES ARE IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
- IN SOME INSTANCES, GRAPHIC REPRESENTATIONS AND SYMBOLS SHOWN HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. THE DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS, OVER THE SCALED POSITIONS.
- THE OWNERSHIP OF PERMETER FENCES, WALLS, HEDGES AND LANDSCAPING, IF ANY, SHOWN HEREON ARE NOT KNOWN AND ARE NOT LISTED AS ENCROACHMENTS. THEIR RELATIVE LOCATION IS SHOWN IN RELATION TO THE BOUNDARY LINES SHOWN.
- THE SURVEY MAP SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED OR DEVELOPED BY THE UNDERSIGNED SURVEYOR IN HIS FIELD WORK, OFFICE WORK OR RESEARCH.
- THE PROPERTY WHICH IS THE SUBJECT OF THIS SURVEY APPEARS TO BE SITUATE IN AN AREA 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS LESS THAN ONE SQUARE MILE AT THIS TIME PURSUANT TO F.E.M.A. FIRM NUMBER 12085C0161H, HAVING AN EFFECTIVE DATE OF FEBRUARY 19, 2020, FOR APPROXIMATE DELINEATION OF THE FLOOD ZONE LIMITS, REFER TO AFOREMENTIONED FIRM PANELS.
- TREES SHOWN HEREON WERE LOCATED BASED ON THE CONSERVATION CRITERIA ESTABLISHED BY THE CITY OF STUART, FLORIDA.
- SHEETS 7, 8, AND 9 IS A TREE SURVEY BASED ON INFORMATION PROVIDED BY EW CONSULTANTS, JOB NAMED "M&M REALTY KANNER". THE WESTERN HALF BEING COLLECTED ON JULY THROUGH AUGUST OF 2018, THE EASTERN HALF BEING COLLECTED IN SEPTEMBER OF 2020.
- ADDITIONAL TOPOGRAPHIC DATA PROVIDED BY SJ BROWN INC. SURVEY JOB # 7227-01-01.

REFERENCE MATERIAL:


- MARTIN COUNTY ENGINEERING DEPT. RIGHT-OF-WAY SURVEY AND MAPPING RIGHT OF WAY MAP WILLOUGHBY BLVD. EXTENSION - MARTIN COUNTY. MAPS PREPARED BY GCY, INC. CIVIL ENGINEERS AND LAND SURVEYORS. DATED SEPTEMBER 1992. JOB# 91-1047
- BOUNDARY SURVEY BY STEPHEN J. BROWN, INC. PREPARED FOR M&M REALTY PARTNERS, LLC. COMPLETED ON 07/03/2018, JOB # 7227-01-01.
- FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY ENGINEERING SECTION, RIGHT OF WAY MAP, STATE ROAD NO. 76, MARTIN COUNTY. SECTION 89060-2510 (2511).
- CERTUS STU OWNER PLAT, LOTS 1 AND 2. PLAT BOOK 18, PAGE 17, MCR.
- STUART FARMS PALM BEACH COUNTY, PLAT BOOK 1, PAGE 63, MCR.
- 3100 SE WILLOUGHBY BLVD, STUART. OFFICIAL RECORD BOOK 2464, PAGE 1992, MCR. PARCEL ID 16-38-41-000-000-00460-3
- 3171 S KANNER HWY, STUART. OFFICIAL RECORD BOOK 2270, PAGE 399, MCR. PARCEL ID 16-38-41-000-000-00442-6.
- S KANNER HWY, STUART. OFFICIAL RECORD BOOK 2465, PAGE 1851, MCR. PARCEL ID 16-38-41-000-000-00440-8.
- S KANNER HWY, STUART. OFFICIAL RECORD BOOK 2822, PAGE 939, MCR. PARCEL ID 40-38-41-001-002-00000-5.
- FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY OFFICIAL RECORD BOOK951, PAGE 286, MCR.
- FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY OFFICIAL RECORD BOOK951, PAGE 286, MCR.
- 20' NON EXCLUSIVE EASEMENT, OFFICIAL RECORD BOOK 1174, PAGE 761, MCR.
- 60' WIDE MARTIN COUNTY ACCESS STRIP OFFICIAL RECORD BOOK 882, PAGE 783 & 785.
- PARCEL 804 S.F.W.M.D. EASEMENT, OFFICIAL RECORDS BOOK 277, PAGE 775, MCR.
- PARCEL 804 S.F.W.M.D. EASEMENT, OFFICIAL RECORDS BOOK 277, PAGE 782, MCR.
- 40' FLORIDA DEPARTMENT OF TRANSPORTATION DRAINAGE EASEMENT, DEED BOOK 42, PAGE 432, MCR.
- GCY TOPOGRAPHIC SURVEY JOB # 19-1034-02 DATED NOVEMBER 2019.
- TOPOGRAPHIC SURVEY BY SJ BROWN INC. FOR M&M REALTY PARTNERS, LLC JOB # 7227-01-01 DATED 07/23/2019

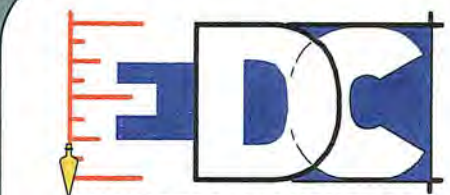
CERTIFIED TO:

- M&M STUART LLC, A FLORIDA LIMITED LIABILITY COMPANY
- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

SHEETS:

- COVER
- BOUNDARY SURVEY
- TOPOGRAPHIC SURVEY
- TREE SURVEY
- TREE SURVEY CONTINUED
- TREE SCHEDULE
- TREE SURVEY BY OTHERS
- TREE SURVEY BY OTHERS CONTINUED
- TREE SCHEDULE BY OTHERS


MICHAEL T. OWEN PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION #5556



ENGINEERS & SURVEYORS
ENVIRONMENTAL

10250 VILLAGE PARKWAY
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455

www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
L.B. CERTIFICATE OF AUTHORIZATION 8066

DATE	REVISION COMMENTS
02/26/2021	ADDED TREE DATA FROM ENV CONSULTANTS AND TPOO FROM SJ BROWN
12/15/2020	ADDED REG. INFO. ABRANDONING OF DECATED BAY/STUART FARMS PLAT

DATE	REVISION COMMENTS
02/26/2021	ADDED TREE DATA FROM ENV CONSULTANTS AND TPOO FROM SJ BROWN
12/15/2020	ADDED REG. INFO. ABRANDONING OF DECATED BAY/STUART FARMS PLAT

BOUNDARY, TOPOGRAPHIC &
TREE SURVEY
FOR:

M&M STUART LLC, A FLORIDA LIMITED LIABILITY COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
RECORD INFORMATION
SEC. 16, TOWNSHIP. 38 SOUTH, RGE. 42 EAST
AND LYING WITHIN THE HANSON GRANT
MARTIN COUNTY, FLORIDA



10250 VILLAGE PARKWAY
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455

20-313

1 OF 9

Z:\EDC\2020\20-313 - Cutco Stuart - Kanner Highway\Survey\Draw - TOPG Survey\20-313\DWG_22602021_10-31.dwg 2/26/2021 10:31 AM
COPYRIGHT 2020 BY EDC INC. THIS FIRM EXPRESSLY RESERVES THEIR EXCLUSIVE COMMON LAW COPYRIGHT AND INTELLECTUAL PROPERTY RIGHTS TO THESE DRAWINGS WHICH MAY NOT BE DISPERSED, REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER, NOR ARE THEY TO BE ASSIGNED TO ANY PARTY WITHOUT THE WRITTEN CONSENT OF THIS FIRM.
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TITLE COMMITMENT
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
COMMITMENT # 807683 A1
COMMITMENT DATE: NOVEMBER 22, 2020, AT 11:00 PM
SCHEDULE B-II ITEMS

- DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE COMMITMENT DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. **NOT A SURVEY MATTER.**
- A. GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2019 AND SUBSEQUENT YEARS. **NOT A SURVEY MATTER.**
- B. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
- C. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR ADVERSE CIRCUMSTANCE THAT WOULD BE DISCLOSED BY AN INSPECTION OR AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND INSPECTION OF THE LAND. **NOT A SURVEY MATTER.**
- D. EASEMENTS OR CLAIMS OF EASEMENTS NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
- E. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL FURNISHED, IMPOSED BY LAW AND NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
- ANY OWNER'S POLICY ISSUED PURSUANT HERETO WILL CONTAIN UNDER SCHEDULE B THE FOLLOWING EXCEPTION: ANY ADVERSE OWNERSHIP CLAIM BY THE STATE OF FLORIDA BY RIGHT OF SOVEREIGNTY TO ANY PORTION OF THE LAND INSURED HEREUNDER, INCLUDING SUBMERGED, FILLED AND ARTIFICIALLY EXPOSED LANDS, AND LANDS ACCRETED TO SUCH LANDS. **NOT A SURVEY MATTER.**
- ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, F.S., IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY, FOR UNPAID SERVICE CHARGES FOR SERVICES BY ANY WATER SYSTEMS, SEWER SYSTEMS OR GAS SYSTEMS SERVING THE LAND DESCRIBED HEREIN; AND ANY LIEN FOR WASTE FEES IN FAVOR OF ANY COUNTY OR MUNICIPALITY. **NOT A SURVEY MATTER.**
- RIGHTS OF THE LESSEES UNDER UNRECORDED LEASES. **NOT A SURVEY MATTER.**
- EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH RECORDED IN DEED BOOK 42, PAGE 63, AS AFFECTED BY ASSIGNMENT RECORDED IN O. R. BOOK 821, PAGE 1406, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. (AS TO PARCEL I) **AFFECTS PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.**
- ORDINANCE NO. 2337-2017, REGARDING ANNEXATION, RECORDED IN O.R. BOOK 2902, PAGE 693, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. (AS TO BOTH PARCELS) **NOT A SURVEY MATTER, AFFECTS PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.**
- COMMITMENT EXCEPTION #3 IS HEREBY DELETED IN ITS ENTIRETY. **NOT A SURVEY MATTER.**

TITLE COMMITMENT
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
COMMITMENT # 807690 A1
COMMITMENT DATE: NOVEMBER 3, 2020, AT 11:00 PM
SCHEDULE B-II ITEMS

- DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE COMMITMENT DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. **AFFECTS SUBJECT PROPERTY; NOT A SURVEY MATTER.**
- A. GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2021 AND SUBSEQUENT YEARS. **NOT A SURVEY MATTER.**
- B. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
- C. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR ADVERSE CIRCUMSTANCE THAT WOULD BE DISCLOSED BY AN INSPECTION OR AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND INSPECTION OF THE LAND. **NOT A SURVEY MATTER.**
- D. EASEMENTS OR CLAIMS OF EASEMENTS NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
- E. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL FURNISHED, IMPOSED BY LAW AND NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
- ANY OWNER'S POLICY ISSUED PURSUANT HERETO WILL CONTAIN UNDER SCHEDULE B THE FOLLOWING EXCEPTION: ANY ADVERSE OWNERSHIP CLAIM BY THE STATE OF FLORIDA BY RIGHT OF SOVEREIGNTY TO ANY PORTION OF THE LAND INSURED HEREUNDER, INCLUDING SUBMERGED, FILLED AND ARTIFICIALLY EXPOSED LANDS, AND LANDS ACCRETED TO SUCH LANDS. **NOT A SURVEY MATTER.**
- ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, F.S., IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY, FOR UNPAID SERVICE CHARGES FOR SERVICES BY ANY WATER SYSTEMS, SEWER SYSTEMS OR GAS SYSTEMS SERVING THE LAND DESCRIBED HEREIN; AND ANY LIEN FOR WASTE FEES IN FAVOR OF ANY COUNTY OR MUNICIPALITY. **NOT A SURVEY MATTER.**
- EASEMENT IN FAVOR OF AMERICAN TELEPHONE AND TELEGRAPH COMPANY RECORDED IN DEED BOOK 42, PAGE 63, TOGETHER WITH ASSIGNMENT RECORDED IN O.R. BOOK 821, PAGE 1406, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.**
- RIGHTS OF THE LESSEES UNDER UNRECORDED LEASES. **NOT A SURVEY MATTER.**

LEGAL DESCRIPTION:

TITLE COMMITMENT # 807683

PARCEL 1 :

THE REAL PROPERTY LYING AND BEING IN GOVERNMENT LOT 5 AND 6, SECTION 16, TOWNSHIP 38 SOUTH , RANGE 41 EAST, MARTIN COUNTY, FLORIDA, DESCRIBED AS:

BEGINNING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF THE HANSON GRANT AND THE CENTERLINE OF STATE ROAD 76, THENCE PROCEED NORTH 66°18'30" EAST ALONG THE NORTH LINE OF THE HANSON GRANT FOR A DISTANCE OF 50.08 FEET TO A CONCRETE MONUMENT ON THE EAST RIGHT OF WAY LINE OF STATE ROAD 76, THENCE PROCEED NORTH 20°23'20" WEST ALONG THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD 76 FOR A DISTANCE OF 330 FEET AND THE POINT OR PLACE OF BEGINNING, THENCE PROCEED NORTH 66°18'30" EAST FOR A DISTANCE OF 984.42 FEET TO A POINT, THENCE PROCEED NORTH 20°23'20" WEST FOR A DISTANCE OF 350 FEET TO A POINT, THENCE PROCEED SOUTH 66°18'30" WEST FOR A DISTANCE OF 984.42 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD 76; THENCE PROCEED SOUTH 20°23'20" EAST ALONG THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD 76 FOR A DISTANCE OF 350 FEET TO THE POINT OR PLACE OF BEGINNING.

LESS AND EXCEPT PARCEL NO. 145 CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION, RECORDED IN O.R. BOOK 951, PAGE 284, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PART OF GOVERNMENT LOT 5, SECTION 16, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID GOVERNMENT LOT 5; THENCE SOUTH 66°02'08" WEST ALONG THE SOUTH LINE OF SAID GOVERNMENT LOT 5, A DISTANCE OF 127.80 FEET TO A POINT ON THE EASTERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 76 (KANNER HIGHWAY); THENCE NORTH 20°39'37" WEST ALONG SAID EASTERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 330.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 20°39'37" WEST ALONG SAID EXISTING RIGHT OF WAY LINE, A DISTANCE OF 350.00 FEET; THENCE NORTH 66°02'08" EAST, A DISTANCE OF 20.03 FEET; THENCE SOUTH 20°39'37" EAST, A DISTANCE OF 350.00 FEET; THENCE SOUTH 66°02'08" WEST, A DISTANCE OF 20.03 FEET.

PARCEL 2:

A PARCEL OF LAND LYING IN GOVERNMENT LOTS 6 AND 7, SECTION 16, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF TRACT 2, STUART FARMS, AS RECORDED IN PLAT BOOK 1, PAGE 63, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, POINT ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF S.E. WILLOUGHBY BOULEVARD; THENCE NORTH 23°40'21" WEST ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 208.04 FEET TO A POINT OF CURVATURE CONCAVE TO THE EAST; THENCE NORTHERLY ALONG SAID CURVE AND SAID WESTERLY RIGHT-OF-WAY LINE HAVING A RADIUS OF 1420.00 FEET, A CENTRAL ANGLE OF 14°55'37", AND AN ARC LENGTH OF 369.95 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 66°43'59" WEST, FOR A DISTANCE OF 791.02 FEET TO A POINT; THENCE NORTH 20°39'22" WEST FOR A DISTANCE OF 395.23 FEET TO A POINT ON THE SOUTH LINE OF A MARTIN COUNTY ACCESS STRIP RECORDED IN OFFICIAL RECORDS BOOK 882, PAGES 783 AND 785, MARTIN COUNTY, FLORIDA; THENCE SOUTH 89°28'43" EAST ALONG SAID MARTIN COUNTY ACCESS STRIP, FOR A DISTANCE OF 859.34 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF S.E. WILLOUGHBY BOULEVARD, POINT ALSO BEING ON THE ARC OF A CURVE CONCAVE TO THE EAST, RADIAL LINE BEARS NORTH 82°49'31" EAST; THENCE SOUTHERLY ALONG SAID CURVE AND SAID WESTERLY RIGHT-OF-WAY LINE, HAVING A RADIUS OF 1420.00 FEET, A CENTRAL ANGLE OF 02°01'03", AND AN ARC LENGTH OF 50 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION:

TITLE COMMITMENT # 807690

A PARCEL OF LAND LYING IN GOVERNMENT LOTS 5, 6, AND 7, SECTION 16, TOWNSHIP 38 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS :

BEGINNING AT THE NORTHEAST CORNER OF TRACT 2, STUART FARMS, AS RECORDED IN PLAT BOOK 1, PAGE 63, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, POINT ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF S.E. WILLOUGHBY BOULEVARD AND ALSO BEING A POINT ON THE NORTH LINE OF THE HANSON GRANT; THENCE SOUTH 65°51'31" WEST ALONG THE NORTH LINE OF SAID HANSON GRANT, FOR A DISTANCE OF 1738.28 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SOUTH KANNER HIGHWAY (S.R. 76); THENCE NORTH 20°39'22" WEST ALONG SAID EASTERLY RIGHT OF WAY LINE, FOR A DISTANCE OF 330.00 FEET TO A POINT; THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE, NORTH 65°51'31" EAST, FOR A DISTANCE OF 964.39 FEET TO A POINT; THENCE NORTH 20°39'22" WEST, FOR A DISTANCE OF 256.55 FEET TO A POINT; THENCE NORTH 66°43'59" EAST, FOR A DISTANCE OF 791.02 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF S.E. WILLOUGHBY BOULEVARD, POINT ALSO BEING A POINT ON A NON-TANGENT CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 1420.00 FEET, A CENTRAL ANGLE OF 14°55'37", A CHORD BEARING OF SOUTH 16°11'46" EAST AND A CHORD LENGTH OF 368.90 FEET; THENCE TRAVEL COUNTER-CLOCKWISE ALONG THE ARC OF SAID NON-TANGENT CURVE AND THE WESTERLY RIGHT-OF-WAY LINE OF S.E. WILLOUGHBY BOULEVARD, FOR A DISTANCE OF 369.95 FEET TO A POINT OF TANGENCY; THENCE SOUTH 23°40'21" EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 208.04 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION:

TITLE COMMITMENT # 807694

A PARCEL OF LAND LYING WITHIN THE HANSON GRANT, MARTIN COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

THE WESTERLY 330.00 FEET OF LOT 2, AND ALL OF LOTS 3 AND 4 OF STUART FARMS, AS RECORDED IN PLAT BOOK 1, PAGE 63, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, NOW SITUATED, LYING AND BEING IN MARTIN COUNTY, FLORIDA.

LESS AND EXCEPT

THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION AS RECORDED IN OFFICIAL RECORDS BOOK 951, PAGE 282, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A 10 FOOT WIDE PARCEL OF LAND OVER THE WESTERLY PORTION OF LOT 4, ACCORDING TO THE PLAT OF STUART FARMS, AS RECORDED IN PLAT BOOK 1, PAGE 63, PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, LYING EASTERLY OF STATE ROAD 76, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID LOT 4; THENCE RUN SOUTH 66°02'08" WEST, ALONG THE NORTH LINE OF SAID LOT 4 AND ALONG THE NORTH LINE OF HANSON GRANT, A DISTANCE OF 376.46 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 66°02'08" WEST, ALONG THE NORTH LINE OF SAID LOT 4, A DISTANCE OF 10.01 FEET; THENCE SOUTH 20°39'37" EAST, ALONG A LINE THAT IS 10 FEET EASTERLY OF, AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE EASTERLY RIGHT OF WAY LINE OF THE 100 FOOT WIDE STATE ROAD 76, A DISTANCE OF 600.55 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 4; THENCE NORTH 66°06'12" EAST, ALONG THE SOUTH LINE OF SAID LOT 4, A DISTANCE OF 10.01 FEET; THENCE NORTH 20°39'37" WEST, ALONG A LINE 20 FEET EASTERLY OF AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE EASTERLY RIGHT OF WAY LINE OF THE SAID 100 FOOT WIDE STATE ROAD 76, A DISTANCE OF 600.56 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH AN ABANDONED 40 FOOT DEDICATED RIGHT OF WAY LYING BETWEEN SAID LOTS 2 AND 3.

TITLE COMMITMENT

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
COMMITMENT # 807694 A1
COMMITMENT DATE: NOVEMBER 2, 2020, AT 11:00 PM
SCHEDULE B-II ITEMS

- DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE COMMITMENT DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. **AFFECTS SUBJECT PROPERTY; NOT A SURVEY MATTER.**
- A. GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2019 AND SUBSEQUENT YEARS. **NOT A SURVEY MATTER.**
- B. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
- C. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR ADVERSE CIRCUMSTANCE THAT WOULD BE DISCLOSED BY AN INSPECTION OR AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND INSPECTION OF THE LAND. **NOT A SURVEY MATTER.**
- D. EASEMENTS OR CLAIMS OF EASEMENTS NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
- E. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL FURNISHED, IMPOSED BY LAW AND NOT RECORDED IN THE PUBLIC RECORDS. **NOT A SURVEY MATTER.**
- ANY OWNER'S POLICY ISSUED PURSUANT HERETO WILL CONTAIN UNDER SCHEDULE B THE FOLLOWING EXCEPTION: ANY ADVERSE OWNERSHIP CLAIM BY THE STATE OF FLORIDA BY RIGHT OF SOVEREIGNTY TO ANY PORTION OF THE LAND INSURED HEREUNDER, INCLUDING SUBMERGED, FILLED AND ARTIFICIALLY EXPOSED LANDS, AND LANDS ACCRETED TO SUCH LANDS.
- ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, F.S., IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY, FOR UNPAID SERVICE CHARGES FOR SERVICES BY ANY WATER SYSTEMS, SEWER SYSTEMS OR GAS SYSTEMS SERVING THE LAND DESCRIBED HEREIN; AND ANY LIEN FOR WASTE FEES IN FAVOR OF ANY COUNTY OR MUNICIPALITY. **NOT A SURVEY MATTER.**
- RIGHTS OF THE LESSEES UNDER UNRECORDED LEASES. **NOT A SURVEY MATTER.**
- ALL MATTERS CONTAINED ON THE PLAT OF STUART FARMS, AS RECORDED IN PLAT BOOK 1, PAGE 63, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, NOW SITUATED, LYING AND BEING IN MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, SHOWN ON SURVEY.**
- RESOLUTION NO. 51-96 CREATING UTILITY EASEMENT RECORDED IN O.R. BOOK 1174, PAGE 761, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, SHOWN ON SURVEY.**
- PERPETUAL EASEMENT IN FAVOR OF THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION RECORDED IN O.R. BOOK 2777, PAGE 775, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, SHOWN ON SURVEY.**
- TEMPORARY EASEMENT IN FAVOR OF THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION RECORDED IN O.R. BOOK 2777, PAGE 782, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, SHOWN ON SURVEY.**
- RESERVATIONS IN FAVOR OF THE STATE OF FLORIDA, AS SET FORTH IN THE DEED FROM THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA RECORDED, UNDER DEED BOOK 31, PAGE 137; PARTIALLY RELEASED IN O.R. BOOK 318, PAGE 309; TRANSFER OF ROAD RIGHT OF WAY RESERVATION RECORDED IN O.R. BOOK 835, PAGE 1822, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, SHOWN ON SURVEY.**
- EASEMENT TO FLORIDA POWER AND LIGHT COMPANY RECORDED IN O.R. BOOK 179, PAGE 275, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **DOES NOT AFFECT PROPERTY, EASEMENT NOW IN RIGHT-OF-WAY OF STATE ROAD 76.**
- EASEMENT RECORDED IN DEED BOOK 12, PAGE 285, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, SHOWN ON SURVEY.**
- OUTFALL DITCH EASEMENT RECORDED IN DEED BOOK 42, PAGE 432, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, SHOWN ON SURVEY.**
- RIGHT OF WAY RESOLUTION RECORDED IN O.R. BOOK 774, PAGE 1469, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA. **AFFECTS PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.**
- ORDINANCE NO. 2327-16 RECORDED IN O.R. BOOK 2875, PAGE 760, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, PROVIDING FOR ANNEXATION OF SUBJECT PROPERTY INTO THE CITY OF STUART. **AFFECTS PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.**
- DEED RECORDED IN O.R. BOOK 2822, PAGE 939, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, SUBJECT TO AUTOMATIC PHOSPHATE, METALS, MINERALS AND PETROLEUM RESERVATIONS BY VIRTUE OF SEC. 270.11(1), F.S. **AFFECTS PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE.**
- SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN THAT CERTAIN DEED RECORDED IN O.R. BOOK 2822, PAGE 939, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, RELATED TO PERMITTING REQUIREMENTS. **NOT A SURVEY MATTER.**
- RIPARIAN AND LITTORAL RIGHTS ARE NOT INSURED. **NOT A SURVEY MATTER.**
- ANY PORTION OF THE LAND LYING WATERWARD OF THE ORDINARY HIGH WATER MARK OF LAKE, AND LANDS ACCRETED THERETO. **NOT A SURVEY MATTER.**



MARTIN COUNTY, FLORIDA
VICINITY MAP
1" = 3000'

SURVEYORS NOTES AND REPORT:

- REPRODUCTIONS OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. THIS SURVEY CANNOT BE TRANSFERRED OR ASSIGNED WITHOUT THE SPECIFIC WRITTEN PERMISSION OF ENGINEERING, DESIGN AND CONSTRUCTION, INC. IT IS A VIOLATION OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- THE LAST DATE OF FIELD WORK WAS NOVEMBER 13, 2020.
- CURRENT DESCRIPTIONS SHOWN HEREON PROVIDED BY: THE CLIENT. A TITLE SEARCH FOR THIS PROPERTY HAS BEEN ABSTRACTED TO SHOW MATTERS OF RECORD SUCH AS EASEMENTS OR OTHER ENCUMBRANCES OR RESTRICTIONS.
- PARCELS CONTAIN A TOTAL OF 48.99 ACRES, MORE OR LESS.
- THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN THE MINIMUM TECHNICAL STANDARDS (61G17-6 F.A.C.), IS "COMMERCIAL." THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 10,000 FEET. THIS SURVEY EXCEEDS THE REQUIRED DISTANCE ACCURACY.
- THIS BOUNDARY SURVEY HAS BEEN REFERENCED TO THE FLORIDA STATE PLANE BOUNDARY SYSTEM-EAST ZONE, NAD 83 (1990).
- THE TOPOGRAPHIC AND TREE DATA COLLECTED AND DEPICTED ON THIS SURVEY IS OF SPECIFIC AREAS PREDETERMINED BY THE CLIENT AT THE TIME OF SURVEY REQUEST.
- REVISIONS SHOWN HEREON DO NOT REPRESENT A "FIELD SURVEY UPDATE" UNLESS OTHERWISE NOTED.
- BEARINGS SHOWN HEREON ARE BASED UPON THE NORTH LINE OF THE HANSON GRANT PER THE LINE LABELED HERON AS (BEARING BASIS) AND ALL OTHER BEARINGS ARE RELATIVE THERETO. DISTANCES ARE IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
- IN SOME INSTANCES, GRAPHIC REPRESENTATIONS AND SYMBOLS SHOWN HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. THE DIMENSIONS SHOWN SHALL CONTROL THE LOCATION, OF THE IMPROVEMENTS, OVER THE SCALED POSITIONS.
- TREES SHOWN HEREON WERE LOCATED BASED ON THE CONSERVATION CRITERIA ESTABLISHED BY THE CITY OF STUART, FLORIDA.
- SHEETS 7, 8, AND 9 IS A TREE SURVEY BASED ON INFORMATION PROVIDED BY EW CONSULTANTS, JOB NAMED "M&M REALTY KANNER". THE WESTERN HALF BEING COLLECTED ON JULY THROUGH AUGUST OF 2018. THE EASTERN HALF BEING LOCATED IN SEPTEMBER OF 2020.
- ADDITIONAL TOPOGRAPHIC DATA PROVIDED BY SJ BROWN INC. SURVEY JOB # 7227-01-01.

REFERENCE MATERIAL:

- MARTIN COUNTY ENGINEERING DEPT. RIGHT-OF-WAY SURVEY AND MAPPING RIGHT OF WAY MAP WILLOUGHBY BLVD. EXTENSION - MARTIN COUNTY. MAPS PREPARED BY GCY, INC. CIVIL ENGINEERS AND LAND SURVEYORS. DATED SEPTEMBER 1992. JOB# 91-1047
- BOUNDARY SURVEY BY STEPHEN J. BROWN, INC. PREPARED FOR M&M REALTY PARTNERS, LLC. COMPLETED ON 07/03/2018. JOB # 7227-01-01.
- FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY ENGINEERING SECTION, RIGHT OF WAY MAP, STATE ROAD NO. 76, MARTIN COUNTY. SECTION 89060-2510 (2511).
- CERTUS STU OWNER PLAT, LOTS 1 AND 2, PLAT BOOK 18, PAGE 17, MCR.
- STUART FARMS PALM BEACH COUNTY, PLAT BOOK 1, PAGE 63, MCR
- 3100 SE WILLOUGHBY BLVD, STUART, OFFICIAL RECORD BOOK 2464, PAGE 1992, MCR. PARCEL ID 16-38-41-000-000-00460-3
- 3171 S KANNER HWY, STUART, OFFICIAL RECORD BOOK 2270, PAGE 399, MCR. PARCEL ID 16-38-41-000-000-00442-6.
- S KANNER HWY, STUART, OFFICIAL RECORD BOOK 2465, PAGE 1851, MCR. PARCEL ID 16-38-41-000-000-00440-8.
- S KANNER HWY, STUART, OFFICIAL RECORD BOOK 2822, PAGE 939, MCR. PARCEL ID 40-38-41-001-002-00000-5.
- FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY OFFICIAL RECORD BOOK951, PAGE 284, MCR.
- FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY OFFICIAL RECORD BOOK951, PAGE 286, MCR.
- 20' NON EXCLUSIVE EASEMENT, OFFICIAL RECORD BOOK 1174, PAGE 761, MCR.
- 60' WIDE MARTIN COUNTY ACCESS STRIP OFFICIAL RECORD BOOK 882, PAGE 783 & 785.
- PARCEL 804 S.F.W.M.D. EASEMENT, OFFICIAL RECORDS BOOK 277, PAGE 775, MCR.
- PARCEL 804 S.F.W.M.D. EASEMENT, OFFICIAL RECORDS BOOK 277, PAGE 782, MCR.
- 40' FLORIDA DEPARTMENT OF TRANSPORTATION DRAINAGE EASEMENT, DEED BOOK 42, PAGE 432, MCR.
- GCY TOPOGRAPHIC SURVEY JOB # 19-1034-02 DATED NOVEMBER 2019.
- TOPOGRAPHIC SURVEY BY SJ BROWN INC. FOR M&M REALTY PARTNERS, LLC JOB # 7227-01-01 DATED 07/23/2019

CERTIFIED TO:

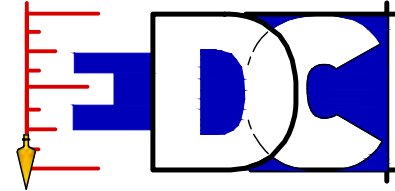
- M&M STUART LLC, A FLORIDA LIMITED LIABILITY COMPANY
- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

SHEETS:

- COVER
- BOUNDARY SURVEY
- TOPOGRAPHIC SURVEY
- TREE SURVEY
- TREE SURVEY CONTINUED
- TREE SCHEDULE
- TREE SURVEY BY OTHERS
- TREE SURVEY BY OTHERS CONTINUED
- TREE SCHEDULE BY OTHERS

MICHAEL T. OWEN PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION #5556

SIGNATURE DATE:



ENGINEERS & SURVEYORS
ENVIRONMENTAL

10250 VILLAGE PARKWAY
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455
www.edc-inc.com

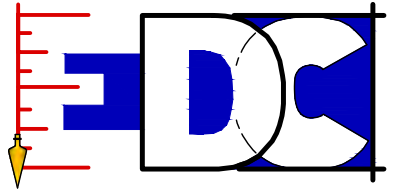
F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
L.B. CERTIFICATE OF AUTHORIZATION 8098

DRAWN BY	INTO	CHECKED BY	BY	FIELD CREW	20-313SV (rev 1.dwg)	FILENAME	COVER	LAYOUT	AS SHOWN	SCALE	February 25, 2021	DATE
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NO.	DATE	REVISION COMMENTS
02/25/2021		ADDED TREE DATA FROM EW CONSULTANTS AND TPO FROM SJ BROWN
12/15/2020		ADDED REC. INFO. ABANDONING OF DEDICATED RW/STUART FARMS PLAT

BOUNDARY, TOPOGRAPHIC &
TREE SURVEY
FOR:

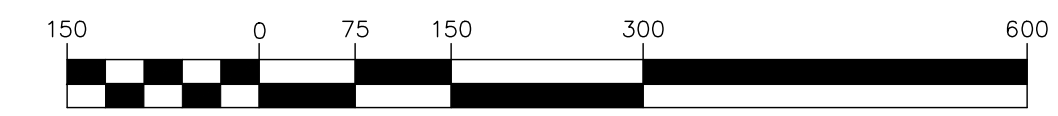
M&M STUART LLC, A FLORIDA LIMITED LIABILITY COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
RECORD INFORMATION
SEC. 16, TWSHP. 38 SOUTH, RGE. 42 EAST
AND LYING WITHIN THE HANSON GRANT
MARTIN COUNTY, FLORIDA



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UNIT 201
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20-313

1 OF 9



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L.B. CERTIFICATE OF AUTHORIZATION 8098

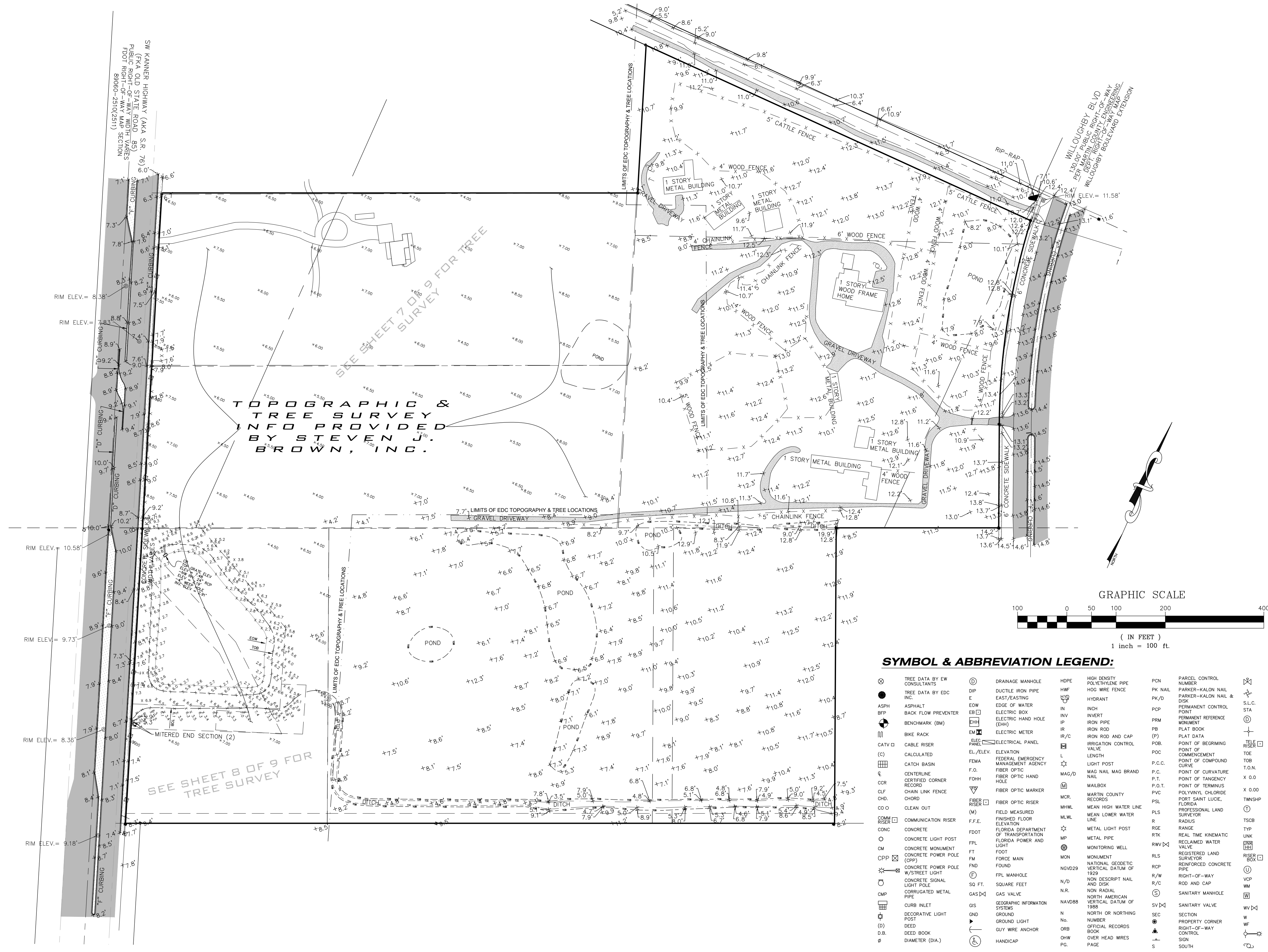
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2 OF 9



BOUNDARY, TOPOGRAPHY & TREE SURVEY

FOR: M&M STUART LLC



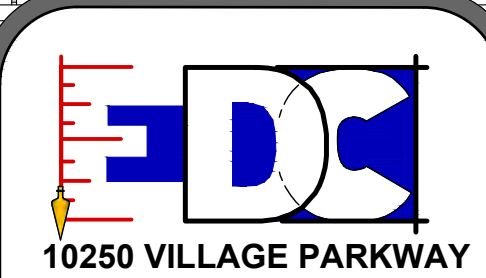
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L.B. CERTIFICATE OF AUTHORIZATION 8098

DRAWN BY	CHECKED BY	FIELD CREW	FILE NAME	TOPOGRAPHIC	LAYOUT	AS SHOWN	SCALE	DATE
NTD	SV	20-313SV (rev 1.dwg)						February 25, 2021

REVISION	DATE	REVISION COMMENTS
02/25/2021	12/15/2020	ADDED TREE DATA FROM EDC CONSULTANTS AND TOPO FROM S. BROWN
12/15/2020		ADDED REC. INFO. ABANDONING OF DEDICATED R/W STUART FARMS PLAT

BOUNDARY, TOPOGRAPHIC & TREE SURVEY
FOR:
M&M STUART LLC, A FLORIDA LIMITED LIABILITY COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
RECORD INFORMATION
SEC. 16, TOWNSHIP. 38 SOUTH, RGE. 42 EAST
AND LYING WITHIN THE HANSON GRANT
MARTIN COUNTY, FLORIDA



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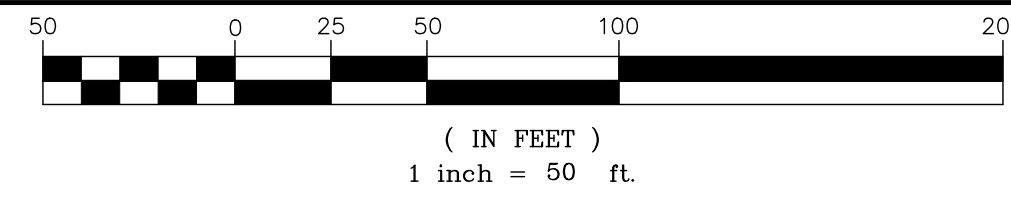
3 OF 9

2:EDC-2020-03-313 - Custer Stuart - Kanner Highway Survey - PDF(Survey)20-313SV (rev 1.dwg) 2/25/2021 10:31 AM
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BOUNDARY, TOPOGRAPHIC & TREE SURVEY FOR: M&M STUART LLC

SEE SHEET 5 OF 9

GRAPHIC SCALE



WILLOUGHBY BLVD

STATE ROAD 76

Z:\EDC\2020\20-313 - Cordero Stuart - Kanner Highway\Survey\Draw - PDF\Survey\20-313 TREE.dwg, 2/26/2021 11:07 AM
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BOUNDARY, TOPOGRAPHIC &
TREE SURVEY
FOR:

M&M STUART LLC, A FLORIDA LIMITED LIABILITY COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
RECORD INFORMATION
SEC. 16, TWSHP. 38 SOUTH, RGE. 42 EAST
AND LYING WITHIN THE HANSON GRANT
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4 OF 9



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L.B. CERTIFICATE OF AUTHORIZATION 8098

DRAWN BY	INTD	CHECKED BY	SV	FIELD CREW	20-313 TREE.dwg	FILE NAME	SHEET 4	LAYOUT	AS SHOWN	SCALE	November 17, 2020	DATE
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REVISION COMMENTS
DATE
12/15/2020
ADDED REC. INFO. ABANDONING OF DECATED R/W. STUART FARMS PLAT

2/EDEC-2020020-313 - Castro Stuart - Kanier Highway/SURVEY0wq - PDF/Survey/20-313 TREE.dwg 2/26/2021 11:07 AM
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(IN FEET)
1 inch = 50 ft.

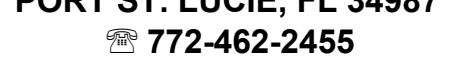


F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
L.B. CERTIFICATE OF AUTHORIZATION 8098

[illegible]

FOR:
M&M STUART LLC, A FLORIDA LIMITED LIABILITY COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

RECORD INFORMATION
SEC. 16, TWSHP. 38 SOUTH, RGE. 42 EAST
AND LYING WITHIN THE HANSON GRANT
MARTIN COUNTY, FLORIDA



5 OF 9

BOUNDARY, TOPOGRAPHIC & TREE SURVEY

FOR: M&M STUART LLC

TAG #	TYPE	DBH
EDC-506	PINE	18
EDC-507	PINE	15
EDC-508	PINE	12
EDC-509	PINE	18
EDC-517	PINE	16
EDC-522	PINE	15
EDC-525	PINE	15
EDC-526	PINE	11
EDC-527	PINE	11
EDC-528	PINE	11
EDC-529	PINE	16
EDC-530	PINE	10
EDC-532	WILLOW	12
EDC-533	PINE	12
EDC-535	PINE	11
EDC-537	PINE	15
EDC-538	PINE	11
EDC-539	PINE	11
EDC-542	PINE	11
EDC-543	PINE	14
EDC-544	PINE	12
EDC-546	PINE	14
EDC-550	PINE	10
EDC-551	BAY LEAF	7
EDC-552	BAY LEAF	9
EDC-553	BAY LEAF	9
EDC-554	BAY LEAF	9
EDC-555	BAY LEAF	9
EDC-556	BAY LEAF	8
EDC-557	BAY LEAF	6
EDC-558	BAY LEAF	6 X2
EDC-559	BAY LEAF	8
EDC-560	PINE	13
EDC-561	BAY LEAF	9
EDC-562	PINE	11
EDC-563	PINE	14
EDC-565	GUMBO	8 X5
EDC-566	PINE	14
EDC-568	PINE	13
EDC-569	PINE	14
EDC-571	PINE	11
EDC-572	BAY LEAF	8
EDC-575	PINE	13
EDC-578	PINE	10
EDC-580	PINE	11
EDC-581	PINE	13
EDC-582	PINE	12
EDC-583	PINE	11
EDC-588	PINE	12
EDC-591	PINE	11
EDC-595	PINE	12
EDC-596	PINE	19
EDC-597	BANYAN	8
EDC-601	PINE	16
EDC-602	PINE	16
EDC-603	PINE	16
EDC-604	PINE	16
EDC-605	OAK	18
EDC-606	PINE	20
EDC-607	PINE	15
EDC-611	OAK	12
EDC-612	OAK	16
EDC-613	OAK	18
EDC-614	OAK	12
EDC-615	OAK	6
EDC-616	PINE	24
EDC-617	OAK	6
EDC-618	OAK	6
EDC-619	OAK	12
EDC-620	OAK	8
EDC-621	OAK	20
EDC-622	PINE	14
EDC-623	PINE	14
EDC-624	PINE	20
EDC-625	PINE	18
EDC-626	PINE	15
EDC-627	PINE	14
EDC-628	PINE	13
EDC-629	PINE	16
EDC-631	PINE	11
EDC-632	PINE	12
EDC-635	PINE	12
EDC-637	PINE	12
EDC-638	PINE	18
EDC-639	PINE	11
EDC-640	PINE	12
EDC-641	PINE	18
EDC-643	PINE	17
EDC-644	PINE	14
EDC-651	OAK	12
EDC-652	OAK	15
EDC-653	OAK	19
EDC-654	PINE	15
EDC-655	PINE	17
EDC-656	PINE	14
EDC-657	OAK	16
EDC-658	PINE	17

TAG #	TYPE	DBH
EDC-659	OAK	28
EDC-660	OAK	21
EDC-661	OAK	15
EDC-662	FLOWERING TREE	15
EDC-663	FLOWERING TREE	18
EDC-665	FLOWERING TREE	8
EDC-666	FLOWERING TREE	36
EDC-668	FLOWERING TREE	8
EDC-669	FLOWERING TREE	8
EDC-671	FLOWERING TREE	16
EDC-672	PINE	14
EDC-673	FLOWERING TREE	36
EDC-674	FLOWERING TREE	16
EDC-675	FLOWERING TREE	20
EDC-676	OAK	28
EDC-677	FLOWERING TREE	28
EDC-679	PINE	11
EDC-686	OAK	11
EDC-687	OAK	8
EDC-688	OAK	12
EDC-689	OAK	12
EDC-693	OAK	16
EDC-694	OAK	16
EDC-695	OAK	18
EDC-696	OAK	18
EDC-698	OAK	18
EDC-823	OAK	18
EDC-826	PINE	12
EDC-829	PINE	20
EDC-830	PINE	24
EDC-831	FLOWERING TREE	8
EDC-832	BANYAN	12
EDC-833	BANYAN	12
EDC-835	SLASH PINE	9
EDC-826	SLASH PINE	10
EDC-837	SLASH PINE	14
EDC-838	SLASH PINE	5
EDC-839	SLASH PINE	8
EDC-840	SLASH PINE	5
EDC-841	SLASH PINE	6
EDC-842	SLASH PINE	7
EDC-843	SLASH PINE	5
EDC-844	SLASH PINE	5
EDC-845	SLASH PINE	5
EDC-846	SLASH PINE	6
EDC-847	SLASH PINE	6
EDC-848	SLASH PINE	10
EDC-849	SLASH PINE	8
EDC-850	SLASH PINE	10
EDC-851	SLASH PINE	7
EDC-852	SLASH PINE	6
EDC-853	SLASH PINE	6
EDC-854	SLASH PINE	6
EDC-855	SLASH PINE	6
EDC-857	SLASH PINE	9
EDC-858	SLASH PINE	6
EDC-860	SLASH PINE	7
EDC-861	SLASH PINE	6
EDC-862	SLASH PINE	8
EDC-863	SLASH PINE	8
EDC-864	OAK	8
EDC-865	OAK	30
EDC-866	OAK	12
EDC-867	OAK	24
EDC-868	OAK	6
EDC-869	OAK	12
EDC-870	OAK	36
EDC-871	FLOWERING TREE	18
EDC-872	FLOWERING TREE	8
EDC-873	FLOWERING TREE	18
EDC-874	FLOWERING TREE	18
EDC-876	FLOWERING TREE	8
EDC-877	FLOWERING TREE	12
EDC-883	PINE	15
EDC-884	OAK	24
EDC-885	OAK	16
EDC-886	OAK	16
EDC-887	OAK	12
EDC-888	OAK	16
EDC-889	OAK	12
EDC-890	OAK	12
EDC-891	OAK	18
EDC-892	OAK	18
EDC-893	OAK	12
EDC-894	OAK	12
EDC-895	OAK	12
EDC-896	OAK	12
EDC-897	OAK	12
EDC-898	OAK	14
EDC-899	OAK	14
EDC-900	OAK	18
EDC-902	PINE	21
EDC-905	PINE	13
EDC-906	PINE	13
EDC-907	PINE	13
EDC-908	PINE	16
EDC-909	PINE	15

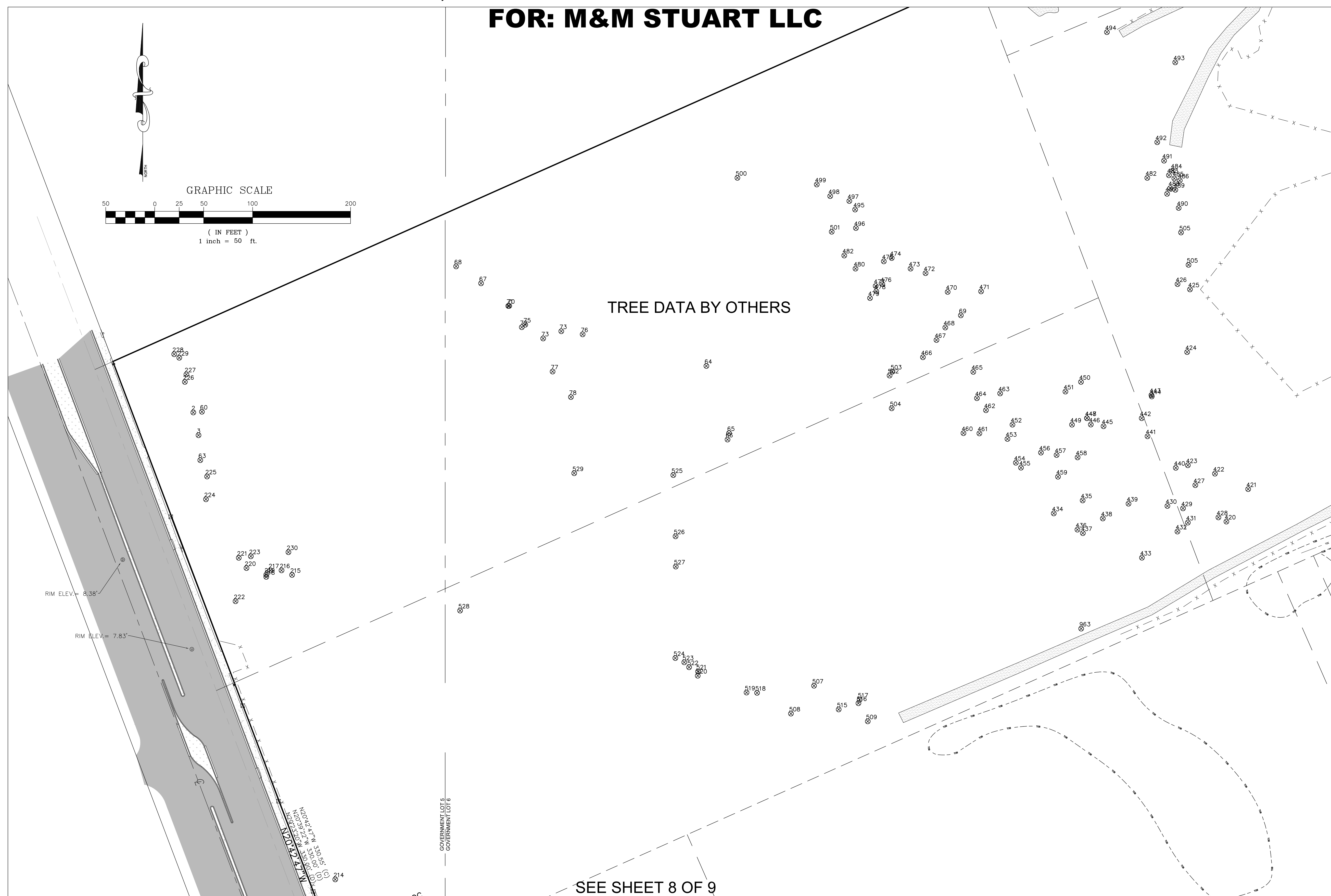
TAG #	TYPE	DBH
EDC-911	GUMBO	7
EDC-913	PINE	10
EDC-916	PINE	10
EDC-917	PINE	10
EDC-919	PINE	10
EDC-922	PINE	11
EDC-923	PINE	13
EDC-924	PINE	13
EDC-927	PINE	15
EDC-930	PINE	11
EDC-934	BAY LEAF	12
EDC-935	BAY LEAF	7
EDC-936	BAY LEAF	7
EDC-937	BAY LEAF	7
EDC-938	BAY LEAF	7
EDC-939	BAY LEAF	8 X2
EDC-940	BAY LEAF	7 X2
EDC-941	BAY LEAF	8
EDC-942	BAY LEAF	8
EDC-943	BAY LEAF	10
EDC-944	BAY LEAF	6
EDC-945	BAY LEAF	8
EDC-946	BAY LEAF	8
EDC-948	PINE	12
EDC-949	PINE	12
EDC-950	PINE	13
EDC-951	PINE	12
EDC-953	BAY LEAF	8
EDC-954	BAY LEAF	7
EDC-955	BAY LEAF	7
EDC-956	PINE	11
EDC-957	PINE	12
EDC-958	PINE	10
EDC-963	BAY LEAF	11
EDC-964	BAY LEAF	8
EDC-965	BAY LEAF	6
EDC-966	BAY LEAF	7
EDC-967	BAY LEAF	6
EDC-970	OAK	21
EDC-972	PINE	12
EDC-974	PINE	13
EDC-975	BAY LEAF	10
EDC-977	BAY LEAF	7 X2
EDC-978	BAY LEAF	10
EDC-979	BAY LEAF	21
EDC-980	BAY LEAF	14
EDC-981	PINE	11
EDC-983	BAY LEAF	7
EDC-984	GUMBO	8 X3
EDC-986	PINE	11
EDC-987	GUMBO	9
EDC-988	PINE	17
EDC-993	OAK	6
EDC-994	OAK	6
EDC-995	OAK	6
EDC-996	OAK	6
EDC-997	OAK	6
EDC-998	PINE	12
EDC-999	BAY LEAF	12
EDC-1000	BAY LEAF	15
EDC-1001	SLASH PINE	7
EDC-1002	SLASH PINE	9
EDC-1003	SLASH PINE	7
EDC-1004	SLASH PINE	7
EDC-1005	SLASH PINE	6
EDC-1006	PINE	12
EDC-1007	SLASH PINE	7
EDC-1008	SLASH PINE	5
EDC-1009	SLASH PINE	6
EDC-1010	PINE	11
EDC-1011	SLASH PINE	12
EDC-1012	SLASH PINE	13
EDC-1013	SLASH PINE	11
EDC-1014	SLASH PINE	5
EDC-1016	SLASH PINE	11
EDC-1017	PINE	16
EDC-1018	PINE	18
EDC-1019	PINE	13
EDC-1020	PINE	11
EDC-1021	PINE	13
EDC-1022	BAY LEAF	7
EDC-1023	BAY LEAF	8
EDC-1024	BAY LEAF	20
EDC-1026	GUMBO	7
EDC-1027	GUMBO	6
EDC-1032	OAK	10
EDC-1033	PINE	18
EDC-1034	SLASH PINE	6
EDC-1035	SLASH PINE	6
EDC-1036	SLASH PINE	6
EDC-1037	SLASH PINE	6
EDC-1038	SLASH PINE	8
EDC-1039	SLASH PINE	5
EDC-1041	SLASH PINE	6
EDC-1042	SLASH PINE	11
EDC-1043	SLASH PINE	6
EDC-1045	SLASH PINE	6

TAG #	TYPE	DBH
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EDC-1047	SLASH PINE	9
EDC-1048	PINE	13
EDC-1049	PINE	14
EDC-1050	PINE	14
EDC-1051	PINE	13
EDC-1052	PINE	15
EDC-1053	PINE	13
EDC-1054	PINE	12
EDC-1055	PINE	14
EDC-1057	OAK	6
EDC-1058	OAK	6
EDC-1059	OAK	9
EDC-1060	PINE	12
EDC-1061	SLASH PINE	9
EDC-1062	PINE	15
EDC-1063	OAK	7
EDC-1064	OAK	7
EDC-1065	OAK	7
EDC-1066	OAK	7
EDC-1067	PINE	17
EDC-1068	PINE	16
EDC-1069	SLASH PINE	7
EDC-1070	SLASH PINE	7
EDC-1071	PINE	13
EDC-1072	PINE	11
EDC-1073	PINE	11
EDC-1074	PINE	12
EDC-1075	SLASH PINE	11
EDC-1076	SLASH PINE	9
EDC-1077	PINE	11
EDC-1078	SLASH PINE	6
EDC-1079	SLASH PINE	9
EDC-1080	SLASH PINE	6
EDC-1081	SLASH PINE	5
EDC-1082	SLASH PINE	5
EDC-1083	SLASH PINE	6
EDC-1084	SLASH PINE	5
EDC-1085	SLASH PINE	5
EDC-1086	SLASH PINE	6
EDC-1088	BAY LEAF	6
EDC-1089	GUMBO	6 X5
EDC-1091	PINE	10
EDC-1092	PINE	14
EDC-1094	SLASH PINE	12
EDC-1097	PINE	11
EDC-1099	PINE	12
EDC-2001	OAK	14
EDC-2002	OAK	18
EDC-2003	PINE	16
EDC-2006	PINE	16
EDC-2007	OAK	18
EDC-2008	OAK	12
EDC-2009	OAK	24
EDC-2010	OAK	18
EDC-2012	OAK	24
EDC-2013	OAK	12
EDC-2014	PINE	17
EDC-2015	OAK	12
EDC-2016	BANYAN	14
EDC-2017	OAK	6
EDC-2018	OAK	18
EDC-2020	OAK	24
EDC-2021	OAK	24
EDC-2022	BANYAN	18
EDC-2031	PINE	12
EDC-2038	PINE	24
EDC-2040	PINE	15
EDC-2041	PINE	20
EDC-2045	PINE	20
EDC-2051	PINE	14
EDC-2052	PINE	14
EDC-2054	PINE	16
EDC-2055	PINE	16
EDC-2056	PINE	16
EDC-2057	PINE	18
EDC-2059	PINE	20
EDC-2062	PINE	18
EDC-2063	PINE	10
EDC-2064	PINE	18
EDC-2065	PINE	18
EDC-2070	PINE	20
EDC-2073	PINE	12
EDC-2074	PINE	20
EDC-2076	PINE	24
EDC-2078	PINE	14
EDC-2079	PINE	14
EDC-2081	PINE	18
EDC-2083	PINE	12
EDC-2086	PINE	12
EDC-2088	PINE	12
EDC-2090	PINE	18
EDC-2091	PINE	18
EDC-2093	PINE	15
EDC-2095	PINE	15
EDC-2097	PINE	10
EDC-2099	PINE	14

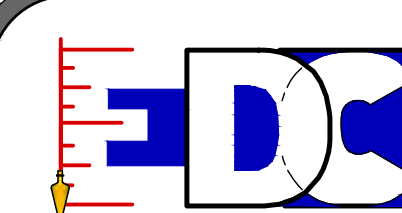
TAG #	TYPE	DBH
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EDC-2103	PINE	16
EDC-2105	PINE	12
EDC-2106	PINE	12
EDC-2110	PINE	12
EDC-2113	PINE	12
EDC-2114	PINE	12
EDC-2117	PINE	20
EDC-2118	PINE	12
EDC-2119	PINE	12
EDC-2120	PINE	12
EDC-2121	PINE	20
EDC-2132	PINE	12
EDC-2133	PINE	12
EDC-2134	PINE	18
EDC-2136	PINE	18
EDC-2141	PINE	20
EDC-2145	PINE	15
EDC-2146	PINE	15
EDC-2149	PINE	15
EDC-2155	PINE	18
EDC-2158	PINE	13
EDC-2159	PINE	13
EDC-2161	PINE	16
EDC-2162	PINE	16
EDC-2165	PINE	12
EDC-2169	PINE	12
EDC-2170	PINE	24
EDC-2172	PINE	18
EDC-2173	PINE	20
EDC-2175	PINE	20
EDC-2176	PINE	20
EDC-2178	PINE	20
EDC-2180	PINE	15
EDC-2181	PINE	30
EDC-2182	PINE	16
EDC-2184	PINE	18
EDC-2185	PINE	12
EDC-2186	PINE	18
EDC-2187	PINE	28
EDC-2189	PINE	10
EDC-2191	PINE	18
EDC-2192	PINE	18
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EDC-2213	PINE	30
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EDC-2219	PINE	18
EDC-2220	PINE	12
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EDC-2229	PINE	14
EDC-2230	PINE	18
EDC-2233	PINE	16
EDC-2235	PINE	12
EDC-2236	PINE	12
EDC-2238	PINE	12
EDC-2240	PINE	15
EDC-2244	PINE	18
EDC-2247	PINE	12
EDC-2248	PINE	10
EDC-2249	PINE	12
EDC-2250	PINE	12
EDC-2252	PINE	20
EDC-2253	PINE	18
EDC-2254	OAK	12
EDC-2255	PINE	18
EDC-2259	PINE	12
EDC-2261	PINE	12
EDC-2265	PINE	10
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EDC-2279	PINE	10
EDC-2281	PINE	10
EDC-2282	PINE	12
EDC-2283	PINE	14
EDC-2284	PINE	20
EDC-2286	PINE	14
EDC-2288	PINE	18
EDC-2289	PINE	12
EDC-2291	PINE	14

BOUNDARY, TOPOGRAPHIC & TREE SURVEY

FOR: M&M STUART LLC




SEE SHEET 8 OF 9



ENGINEERS • SURVEYORS
ENVIRONMENTAL

**10250 VILLAGE PARKWAY
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455**

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F.B.P.E. CERTIFICATE OF AUTHORIZATION 993
L.B. CERTIFICATE OF AUTHORIZATION 8098

DAD
DRAWN BY
MTD
CHECKED BY
SV
FIELD CREW
0-313_TREE.dwg
FILENAME
SHEET 5
LAYOUT
AS SHOWN
SCALE

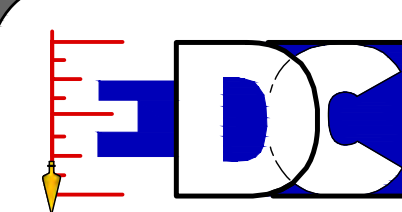
1916-1920	JOHN DEC. INFO. REASONING OF NEW'S TEST ON STUART CUMMIS AT
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ARY, TOPOGRAPHIC & TREE SURVEY FOR:

FOR:
M&M STUART LLC, A FLORIDA LIMITED LIABILITY COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

RECORD INFORMATION

**SEC. 16, TOWNSHIP 38 SOUTH, RANGE 42 EAST
AND LYING WITHIN THE HANSON GRANT
MARTIN COUNTY, FLORIDA**



10250 VILLAGE PARKWAY
UNIT 201

PORT ST. LUCIE, FL 34987
☎ 772-462-2455

20-313

7 OF 9

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BOUNDARY, TOPOGRAPHIC & TREE SURVEY

FOR: M&M STUART LLC



10250 VILLAGE PARKWAY
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455
www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
L.B. CERTIFICATE OF AUTHORIZATION 8098

DRAWN BY	INTO
CHECKED BY	SV
FIELD CREW	20-313 TREE.dwg
FILE NAME	SHEET 5
LAYOUT	AS SHOWN
SCALE	November 17, 2020
DATE	

ADDED REC. INFO. ABANDONING OF DEDICATED R/W, STUART FARMS PLAT
DATE
REVISION COMMENTS

BOUNDARY, TOPOGRAPHIC &
TREE SURVEY
FOR:
M&M STUART LLC, A FLORIDA LIMITED LIABILITY COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
RECORD INFORMATION
SEC. 16, TOWNSHIP. 38 SOUTH, RGE. 42 EAST
AND LYING WITHIN THE HANSON GRANT
MARTIN COUNTY, FLORIDA



10250 VILLAGE PARKWAY
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455

20-313

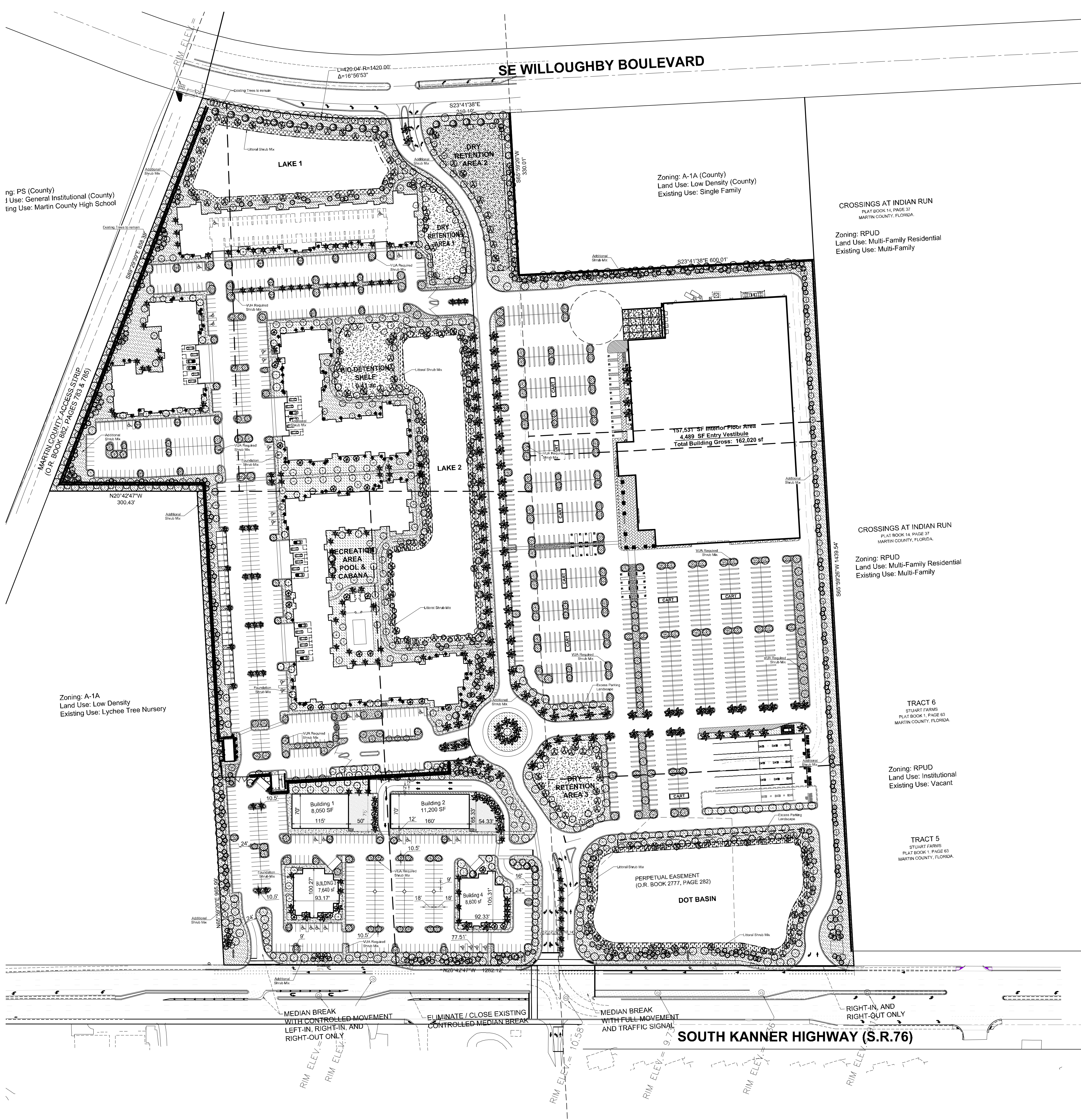
8 OF 9

2/EDEC-2020020-313 - Castro Stuart - Kanner Highway/SURVEYDwg - PDF/Survey/20-313 TREE.dwg 2/26/2021 11:08 AM
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TAG#	TYPE	DBH
EW-495	Slash Pine	10
EW-496	Slash Pine	12
EW-497	Slash Pine	10
EW-498	Slash Pine	10
EW-499	Slash Pine	18
EW-500	Slash Pine	17.5
EW-501	Slash Pine	15
EW-502	Slash Pine	11
EW-503	Slash Pine	12
EW-504	Slash Pine	16
EW-505	Live Oak	9
EW-505	Slash Pine	13
EW-507	Slash Pine	15
EW-508	Slash Pine	13
EW-509	Slash Pine	29
EW-515	Slash Pine	11
EW-516	Slash Pine	12
EW-517	Slash Pine	11
EW-518	Slash Pine	11
EW-519	Slash Pine	12
EW-520	Slash Pine	12
EW-521	Slash Pine	16
EW-522	Slash Pine	12
EW-523	Strangler Fig	7
EW-524	Slash Pine	15
EW-525	Slash Pine	15
EW-526	Slash Pine	11
EW-527	Slash Pine	10
EW-528	Slash Pine	11
EW-529	Slash Pine	13
EW-891	Sand Pine	9
EW-963	Slash Pine	16

9 OF 9



Landscape Data:

Total Site Area:	2,133,987 sf.(48.99 Ac.)
Zoning:	CPUD
Future Land Use Designation:	CPUD
Building Coverage:	370,876 sf.
Site Area Landscape:	
Site Development Area:	2,133,987 sf.
Required Site Area Trees:	1,083 trees
Commercial:	
1 tree per 2,500 sf @ 1,274,576 sf.	510 trees
Residential:	
1 tree per 1,500 sf @ 859,411 sf.	573 trees
Provided Site Area Trees:	1,803 trees

Perimeter Landscape:	
Perimeter Landscape Length:	5,438 lf.
Required Perimeter Trees:	181 trees
(1 tree per 30 lf. @ 5,438 lf.)	
Provided Perimeter Trees:	329 Trees
Required Perimeter Shrubs:	2,175 Shrubs
(1 shrub per 2.5 lf. @ 5,438 lf.)	
Provided Perimeter Shrubs:	2,200 Shrubs

Interior Vehicular Use Landscape:	
Required Interior Trees:	Trees (256 Terminal Trees)
Provided Interior Trees:	Trees (256 Terminal Trees)

Multi-Family Foundation Landscape	
Required Foundation Trees:	68 trees
(1 tree per 20 lf. @ 1,355 lf.)	
Provided Foundation Trees:	108 trees

Native Tree Requirement	
Total Trees Required:	1,083 Trees
Total Native Trees Required (75%):	816 Trees
Total Native Trees Provided:	1,516 Trees (100%)

Native Shrubs	
Total Shrubs Provided:	Shrubs (75%)

Excess Parking Landscape Requirements

Parking Required:	1,651 spaces
Parking Provided:	1,725 spaces
Excess Parking:	74 spaces
Additional Landscape Required:	7,400 sf

Landscape Notes:

1. Encroachment into required bufferlands and landscaped areas by vehicles, boats, mobile homes or trailers shall not be permitted, and required landscaped areas shall not be used for the storage or sale of materials or products or the parking of vehicles and equipment.
2. Required landscaping shall be maintained so as to at all times present a healthy, neat and orderly appearance, free of refuse and debris. If vegetation which is required to be planted dies, it shall be replaced with equivalent vegetation. All trees for which credit was awarded and which subsequently die shall be replaced by the requisite number of living trees according to the standards established in the City of Stuart Landscape Code.
3. All landscaping shall be maintained free from disease, pests, weeds and litter. Maintenance shall include weeding, watering, fertilizing, pruning, mowing, edging, mulching or other maintenance as needed and in accordance with acceptable horticultural practices. Perpetual maintenance shall be provided to prohibit the reestablishment of harmful exotic species within landscaping and preservation areas.
4. Regular landscape maintenance shall be provided for repair or replacement, where necessary, of any screening or buffering required as shown on this plan. Regular landscape maintenance shall be provided for the repair or replacement of required walls, fences or structures to a structurally sound condition as shown on this plan.
5. Alternative plant species for required landscape may be permitted subject to review and approval by the City of Stuart Growth Management Department prior to installation.
6. All prohibited exotic species must be removed and all required landscape improvements must be inspected and approved by City of Stuart prior to the issuance of a Certificate of Occupancy.
7. No Cypress Mulch or Red Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
8. Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Stuart Landscape Code. As-built drawings will be submitted to City of Stuart Growth Management with Certification of Landscaping Installation and Maintenance.
9. This plan has been designed to meet the tree planting requirements contained within the FPL document entitled "Plant the right tree in the Right Place".
10. For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
11. Large trees (height at maturity of more than 30') shall be planted no closer than a horizontal distance of 30' from the nearest overhead power line.
12. Medium height trees (height at maturity between 20' and 30') shall be offset at least 20' and small trees (height at maturity of less than 20') require no offset.
13. No tree shrubs, hedges or vines shall be planted within 5' of an existing or proposed utility pole, guy wire, or pad-mounted transformer.
14. Palms should be planted at a distance equal to or greater than the average frond length plus two (2) feet from power lines.
15. Tree species shall be selected as to minimize conflicts with existing or proposed utilities.

Irrigation Notes:

1. Adequate irrigation of landscaped areas shall be provided for the first full growing season and continue thereafter only as necessary to maintain required vegetation in good and healthy condition.
2. Irrigation systems shall conform to the following standards: Irrigation systems shall be continuously maintained in working order and shall be designed not to overlap water zones, or to water impervious areas.
3. No irrigation system shall be installed or maintained abutting any public street which causes water from the system to overspray onto the roadway or to strike passing vehicular traffic.

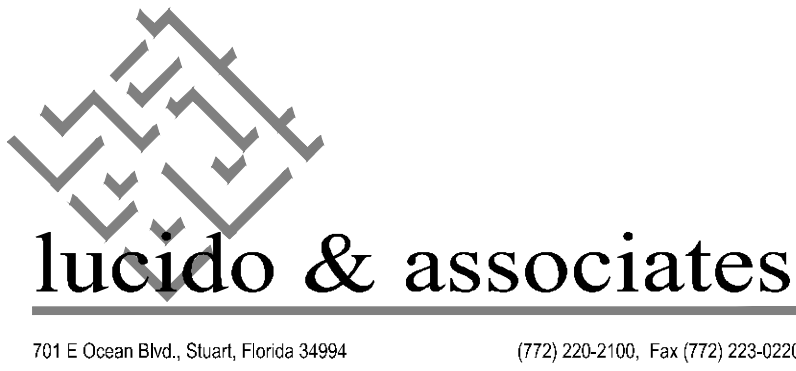
Index of Drawings:

Overall Plan	CV-1
Plant Schedules, Sections & Mitigation	LA-1
Landscape Plan	LA-2
Landscape Plan	LA-3
Landscape Plan	LA-4
Landscape Details	LA-5
Landscape Specifications	LA-6

Required Xeriscape Points

At least 51% of the grass areas are made up of drought-tolerant grass species	10 points
At least 51% of the required shrubs are made up of drought-tolerant species	10 points
At least 51% of the required trees are made up of drought-tolerant species	10 points
Utilization of moisture sensing controller other than a rain-sensor override device	5 points
Plan submitted with low, moderate and high water usage zones indicated on the landscape plan*	5 points
Utilization of compacted mulch with a 3" min. depth in all planted areas except ground cover.	10 points
	50 total points

*Refer to Irrigation Notes for water usage zones.



Key / Location:



Project Team:

Applicant:
M&M Realty Partners
1280 Statton Rd
Piscataway, NJ 07704
703-839-3776

Engineer:
Maser Consulting
410 Eagleview Blvd, Suite 104
Exton, PA 19341
610-254-9140

Surveyor:
Stephen J Brown Inc
619 E. 5th St
Stuart, FL 34994
772-288-7176

Landscape Architect/Land Planner:
Lucido & Associates
701 E Ocean Blvd
Stuart, FL 34904
772-220-2100

KANNER CPUD

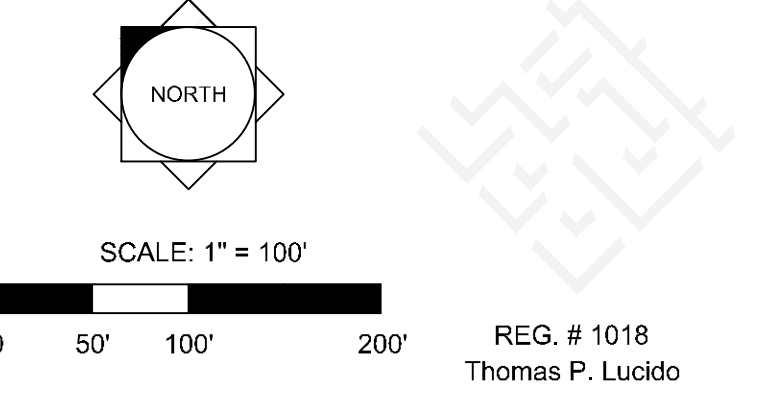
Landscape Plan

Landscape Plans

Cover Sheet

City of Stuart, Florida



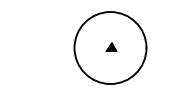











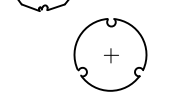



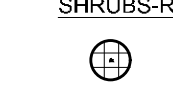

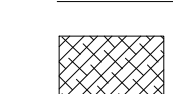



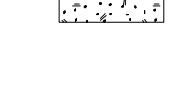

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03.19.21	SAW	2nd ReSubmittal
04.22.21	SAW	3rd ReSubmittal



Designer	SAW	Sheet
Manager	DF	
Project Number	20-620	
Municipal Number	---	
Computer File		

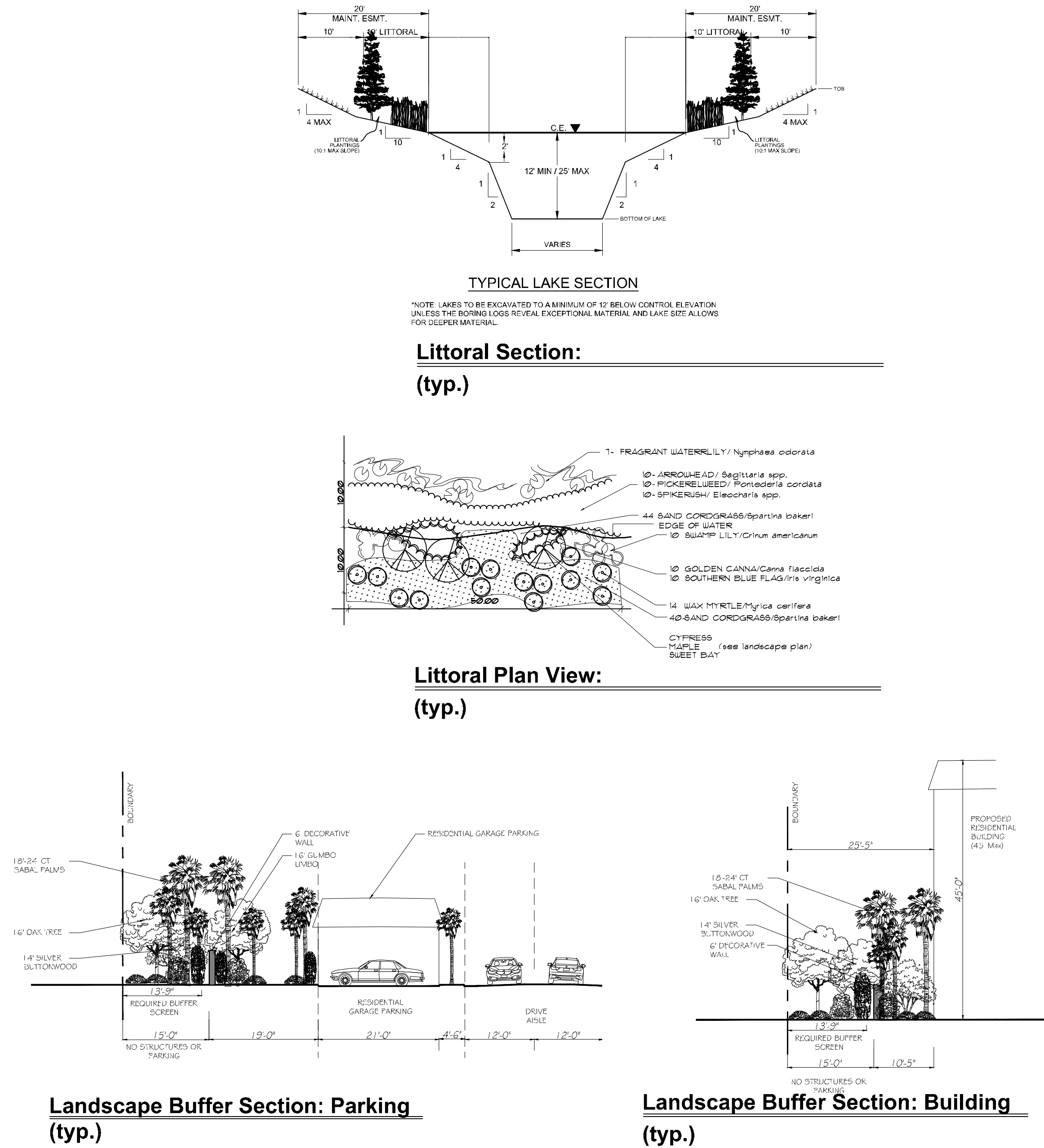
CV-1

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PLANT SCHEDULE OVERALL										
PALMS REQUIRED & MITIGATION	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	CALIPER
	PT	130	Ptychosperma elegans	Alexander Palm	CG	14 CT				
	SP	357	Sabal palmetto	Sabal Palm	FG	18' ct-24' ct		HVY CAL, SP	Native	
TREES REQUIRED & MITIGATION	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	CALIPER
	ETR	27	Existing Tree to Remain	Southern Live Oak	.					
TREES REQUIRED & MITIGATION	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	CALIPER
	ILE	98	Ilex x attenuata 'Eagleston'	Eagleston Holly	FG	16' - 18' HT	6' SPR	F, SP, heigh and width may vary. 4.5" Caliper must be met		5" Caliper
	MD	43	Magnolia grandiflora 'D.D. Blanchard' TM	Southern Magnolia	FG	16' - 18' HT	8' SPR	FTB, SP	Native	4.5" Caliper
	PE	133	Pinus elliotii	Slash Pine	FG	16' HT	6' W			6" Caliper
	QV	341	Quercus virginiana	Southern Live Oak	FG	16' HT	7' SPR	F, SP	Native	4.5" Caliper
	RO	123	Roystonea regia	Florida/Cuban Royal Palm	FG	18' CT		F, SP, No Scars	Native	
	TC	34	Tabebuia caraiba	Yellow Tabebuia	45G	14' HT	7' W	F, SP	Non-native	4.5" Caliper
TREES- ADDITIONAL FOR MITIGATION	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	CALIPER
	AR	55	Acer rubrum	Red Maple	FG	16' HT	7' SPR	F, SP	Native	4.5" Caliper
	BUR	67	Bursera simaruba	Gumbo Limbo	FG	14'-16' HT	8' W		Native	5" Caliper
	COC	61	Coccoloba uvifera	Sea Grape	FG	14-18' OA HT	8' W		Native	4.5" Caliper
	COG	157	Conocarpus erectus	Buttonwood	FG	14" HT	5' SPR	STD, F, SP	Native	4.5" Caliper
	CON	124	Conocarpus erectus sericeus	Silver Buttonwood	FG	14' HT	5' W	STD, F, SP	Native	4.5" Caliper
	DR	20	Delonix regia	Royal Poinciana	65G	12' HT	6' SPR			2.5" Caliper
	QV1	119	Quercus virginiana	Southern Live Oak	FG	14' HT	6' W			4.5" Caliper
	TP	47	Tabebuia impetiginosa	Pink Trumpet Tree	45G	12' HT	5' SPR			3" Caliper
	TD	113	Taxodium distichum	Bald Cypress	FG	18' HT	7' SPR	F, SP	Native	6" DBH
	WB	133	Wodyetia bifurcata	Foxtail Palm	FG	14' CT		Full Head, Str, Specimen	Non-native	
SHRUBS-REQUIRED	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	
	CHR2	733	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	3G	24" HT	24" W	F, SP	Native	
	MFF	1,856	Myrcianthes fragrans	Simpson's Stopper	7G	42" HT	24" W		Native	
NON OPEN SPACE SHRUB MIX	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	SPACING
	VSM	3,918	VUA Shrub Mix Vehicular Use Area Shrub Mix 3 gal., 12"OA Face, 24" OA Shrub Shore Juniper, Green Island Ficus, Dwarf Yaupon, Muhly Grass, Fakahatchee Grass, Dw Firebush	Mix	3G	12"-24"ht	12"-24" sprd			48" o.c.
OPEN SPACE SHRUB MIX	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	SPACING
	OSMX	5,331	Open Space Mix Open Space Mix 3 gal., 24-30" OA, 52" OC Mix: 50% Native Grasses, 50% Natives Shrubs Trees as shown on the plan	Mix	3G	24"HT	12"-24" sprd			52" o.c.
PERIMETER SHRUB AREA	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	SPACING
	LMX	2,088	Littoral Mix Littoral Mix B.R., 1 Gal, 10"ht x 6" spr, 52"OC Mix: 33% Canna flacida, 33% Eleocharis interstincta, 33% Pontederia cordata	Mix	B.R. - 1 G	10" ht	6"-18" sprd			52" o.c.
	TMX	4,038	Transitional Mix Transitional Mix 3 gal., 24-30" OA, 52" OC Mix: 50% Native Grasses, 50% Natives Shrubs Trees as shown on the plan	Mix	3G	24"HT	12"-24" sprd			52" o.c.
	UMX	19,042	Upland Mix Upland Mix 3 gal., 24-30" OA, 52" OC Mix: 50% Native Grasses, 50% Natives Shrubs Trees as shown on the plan	Mix	3G	24"HT	12"-24" sprd			52" o.c.

Landscape Note:

- Tree material may vary in height and width. The 4'5" caliper requirement must be met.



Landscape Buffer Section: Parking (typ.)

Landscape Buffer Section: Building (typ.)

Costco - TREE MITIGATION DATA			
Hardwood Calculation	2,789.00 inches (x)	2.5 "	=
Total Inches Required (4.5" DBH min.)			8,835 Inches
Total Inches Provided for Mitigation:			2070 Inches
343 Quercus virginiana (4.5" DBH)		4.5 "	1543.5 Inches
117 Quercus virginiana (4.5" DBH)		4.5 "	526.5 Inches
Pine Calculation	11,181 inches (x)	1.5 "	=
Total Inches Required (3" DBH min.)			13,219.50 Inches
Total Inches Provided for Mitigation:			10,569 Inches
133 Pinus elliotii (5" DBH)	Pine Tree	6 "	798 Inches
98 Ilex x attenuata 'Eagleston' (3" DBH)	Holly	5 "	490 Inches
113 Taxodium ascendens (5" DBH)	Cypress	6 "	678 Inches
34 Tabebuia caraiba (3" DBH)		4.5 "	153 Inches
43 Magnolia grandiflora	Southern Magnolia	4.5 "	193.5 Inches
60 Coccoloba uvifera	Seagrape	4.5 "	270 Inches
133 Wodyetia bifurcata	Foxtail Palm 14 ct	4.5 "	598.5 Inches
123 Roystonea regia	Florida/Cuban Royal Palm 18ct	8.5 "	1045.5 Inches
157 Conocarpus erectus	Buttonwood	4.5 "	706.5 Inches
125 Conocarpus erectus sericeus	Silver Buttonwood	4.5 "	562.5 Inches
357 Sabal palmetto	Sabal Palm 20ct	10.5 "	3748.5 Inches
130 Ptychosperma elegans	Alexander Palm	4.5 "	585 Inches
67 Bursera simaruba	Gumbo Limbo	4.5 "	301.5 Inches
55 Acer Rubrum	Red Maple	4.5 "	247.5 Inches
47 Tabebuia impetignolsa	Pink Trumpet tree	3 "	141 Inches
20 delonix regia	Royal Poinciana	2.5 "	50 Inches
Shrubs			
6,126 Additional Shrubs	Shrub (1" per 12)	12	511 Inches
19,064 Upland Shrubs	Shrub (1" per 12)	12	1,589 Inches
5,398 Open Space	Shrub (1" per 12)	12	450 Inches
Percentage of Nitrate and Phosphate Loading Reduction from Stormwater			
81% Nitrogen Removal Credit	\$197,537.50		
91% Phosphate removal Credit	\$316,060.00		
Total Credit for Providing Nutrient Removal		\$513,597.50	
Cost per Minimum tree size (2.5") allocated towards mitigation -		\$150.00	
Total Trees (513597.5/150)		3424	
Total Inches (3424 * 2.5")		8560	8,560 Inches

Key / Location:



Project Team:

Applicant:
M&M Realty Partners
1280 Statton Rd
Piscataway, NJ 07704
703-839-3776

Engineer:
Maser Consulting
410 Eagleview Blvd, Suite 104
Exton, PA 19341
610-254-9140

Surveyor:
Stephen J Brown Inc
619 E. 5th St
Stuart, FL 34994
772-288-7176

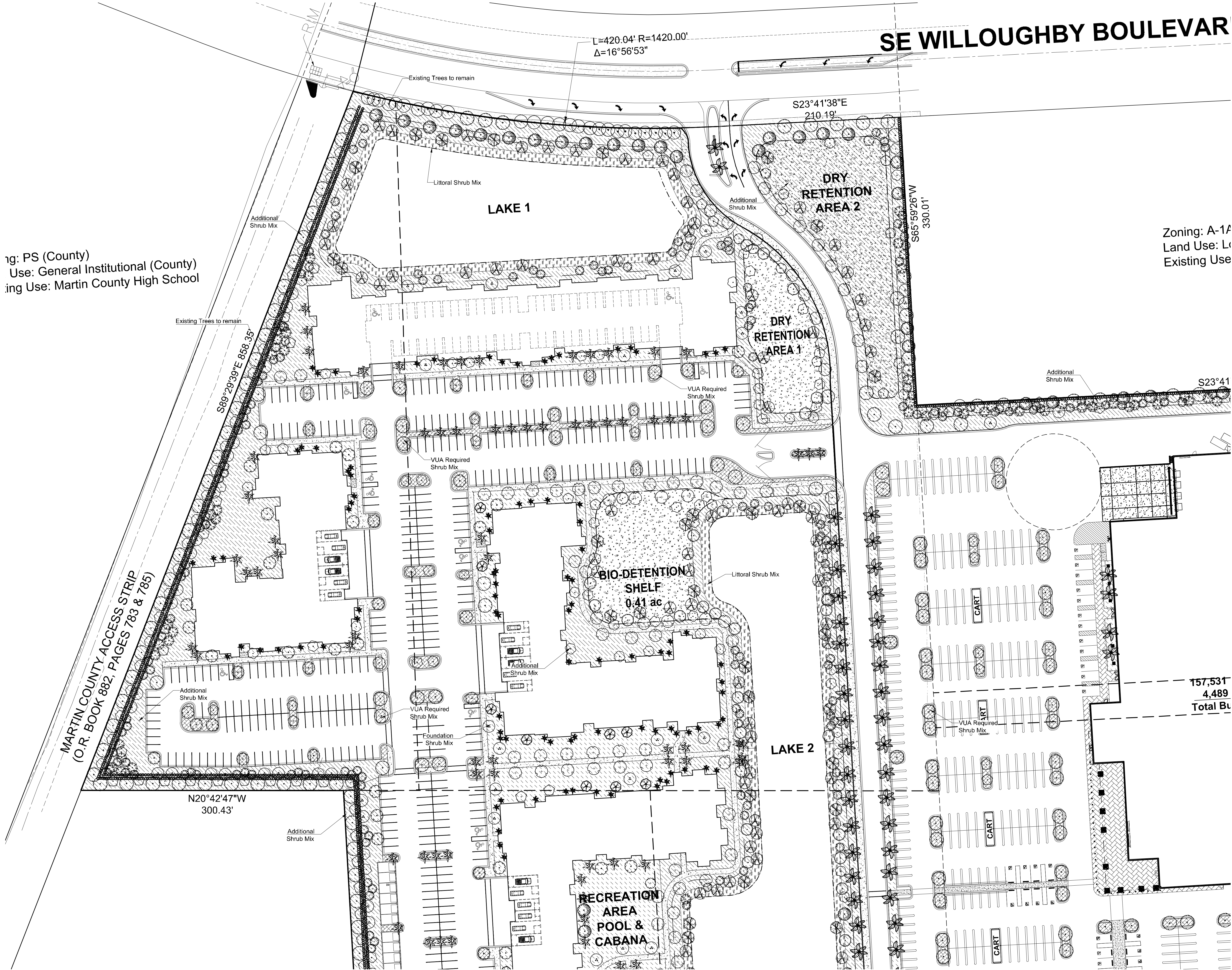
Landscape Architect/Land Planner:
Lucido & Associates
701 E Ocean Blvd
Stuart, FL 34904
772-220-2100

KANNER CPUD

Landscape Plan Plant Schedules, Sections & Mitigation Calculation

City of Stuart, Florida

Date	By	Description
12.17.20	SAW	Initial Submittal
03.19.21	SAW	2nd ReSubmittal
04.22.21	SAW	3rd ReSubmittal



1g: PS (County)
Use: General Institutional (County)
ing Use: Martin County High School

Zoning: A-1A
Land Use: L
Existing Use

Key / Location:



Project Team:

Applicant:
M&M Realty Partners
1260 Stelton Rd
Piscataway, NJ 07704
703-839-3776

Engineer:
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410 Eagleview Blvd, Suite 104
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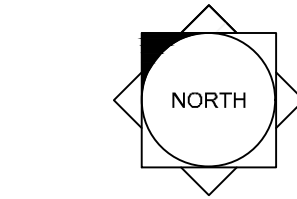
Landscape Architect/Land Planner:
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701 E Ocean Blvd
Stuart, FL 34994
772-220-2100

KANNER CPUD

Landscape Plan

City of Stuart, Florida

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04.22.21	SAW	3rd ReSubmittal



SCALE: 1" = 50'

0 25' 50' 100'

REG. # 1018
Thomas P. Lucido

Designer	SAW	Sheet
Manager	DF	
Project Number	20-620	
Municipal Number	---	
Computer File		

LA2

Zoning: A-1A
Land Use: Low Density
Existing Use: Lychee Tree Nursery

Key / Location:



Project Team:

Applicant:
M&M Realty Partners
1260 Stelton Rd
Piscataway, NJ 07704
703-839-3776

Engineer:
Maser Consulting
410 Eagleview Blvd, Suite 104
Exton, PA 19341
610-254-6140

Surveyor:
Stephen J Brown Inc
619 E. 5th St
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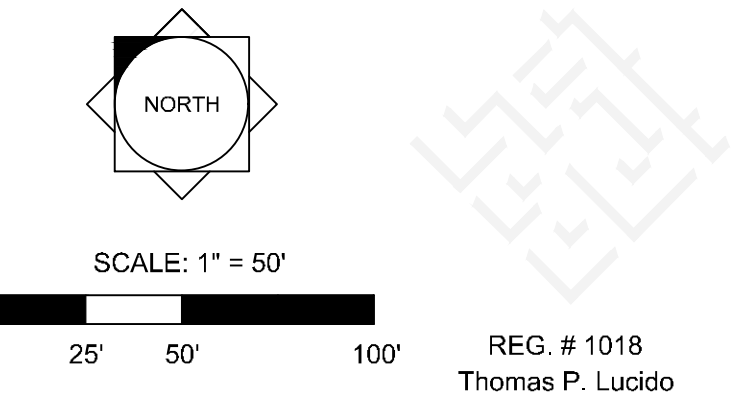
Landscape Architect/Land Planner:
Lucido & Associates
701 E Ocean Blvd
Stuart, FL 34904
772-220-2100

KANNER CPUD

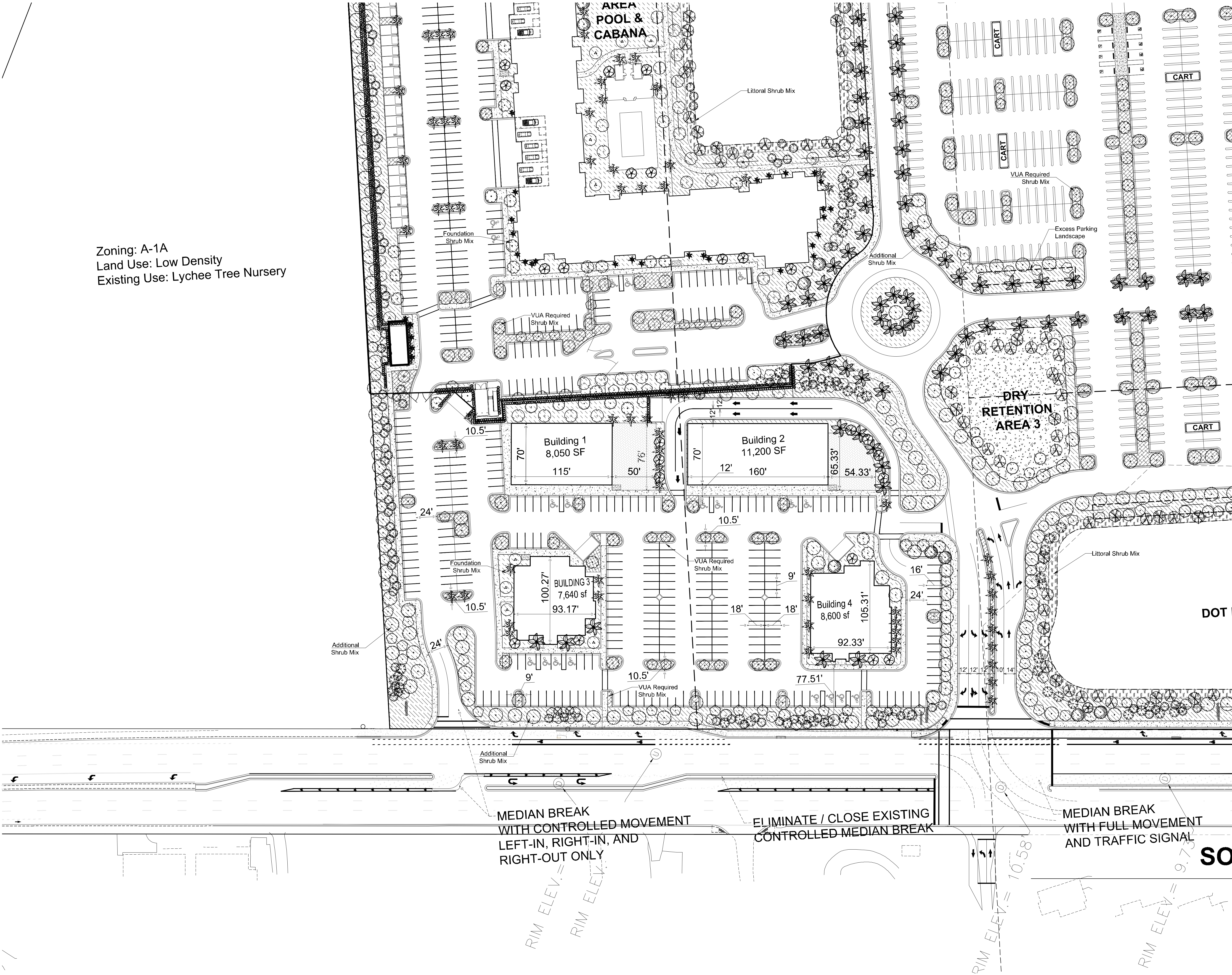
Landscape Plan

City of Stuart, Florida

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04.22.21	SAW	3rd ReSubmittal



Designer	SAW	Sheet
Manager	DF	
Project Number	20-620	
Municipal Number	---	
Computer File		



CROSSINGS AT INDIAN RUN
PLAT BOOK 14, PAGE 37
MARTIN COUNTY, FLORIDA.

Zoning: RPUD
Land Use: Multi-Family Residential
Existing Use: Multi-Family

S23°41'38"E 600.01'

157,531 SF Interior Floor Area
4,489 SF Entry Vestibule
Total Building Gross: 162,020 sf

Additional
Shrub Mix

CROSSINGS AT INDIAN RUN
PLAT BOOK 14, PAGE 37
MARTIN COUNTY, FLORIDA.

Zoning: RPUD
Land Use: Multi-Family Residential
Existing Use: Multi-Family

Existing Use: Multi-Family

TRACT 6
STUART FARMS
PLAT BOOK 1, PAGE 63
MARTIN COUNTY, FLORIDA.

Zoning: RPUD
Land Use: Institutional
Existing Use: Vacant

TRACT 5
STUART FARMS
PLAT BOOK 1, PAGE 63
MARTIN COUNTY, FLORIDA.

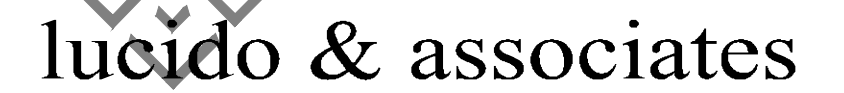
UAL EASEMENT
OK 2777, PAGE 282)

DOT BASIN

— Littoral Shrub Mix

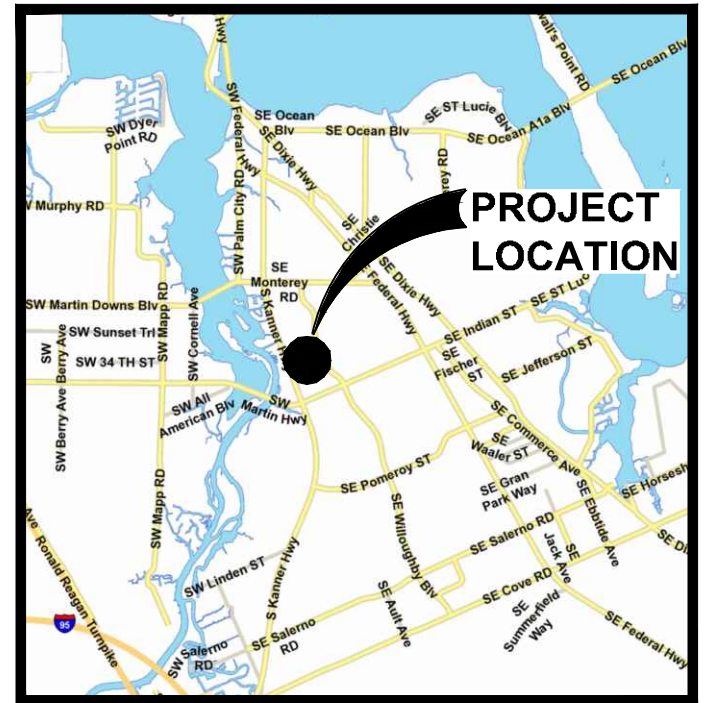
RIGHT-IN, AND
RIGHT-OUT ONLY

SOUTH KANNER HIGHWAY (S.R.76)



(772) 220-2100, Fax (772) 223-0220

Key / Location:



Project Team:

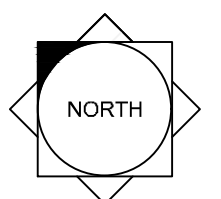
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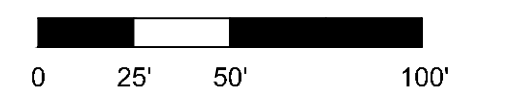
Landscape Plan

City of Stuart, Florida

Date	By	Description
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SCALE: 1" = 50'



REG. # 1018
Thomas P. Lucido

Designer	SAW
Manager	DF
Project Number	20-620
Municipal Number	--
Computer File	

LA4

LANDSCAPE SPECIFICATIONS

PART 1: GENERAL CONDITIONS

- 1.01

A.

SCOPE:
The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.
- 1.02

A.

AGENCY STANDARDS:
Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in: Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.
- 1.03

A.

SITE EXAMINATION:
The Landscape Contractor shall personally examine the site and fully acquaint him/herself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and, additionally, in order to acquaint him/herself with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.
- 1.04

A.

ERRORS AND OMISSIONS:
The plant list is a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings. The Landscape Contractor is responsible for his/her own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.

The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings. Full instruction will be given if such errors are discovered. Upon the discovery of any discrepancies in, or omissions from the drawings or documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape Architect shall be notified and will determine the actions necessary to each query.
- C.

If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.
- 1.05

A.

EXECUTION OF THE WORK:
The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading plans, and coordination between job and nursery in order to execute installation correctly and in a timely manner.
- B.

The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Foreman shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents. If the Superintendent is deemed incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.
- C.

The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job. Any additional work or changes required as a result of failure to communicate with the Owner or Landscape Architect during implementation will be the responsibility of the Landscape Contractor.
- 1.06

A.

PROTECTION OF PUBLIC AND PROPERTY:
The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.
- 1.07

A.

CHANGES AND EXTRAS:
The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.
- 1.08

A.

GARANTEE:
The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of 18 MONTHS from the time of completion and acceptance by the Landscape Architect and Owner. Sod shall be guaranteed to 90 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. The guaranteeing of plant material shall be construed to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or unhealthy material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.
- B.

At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The Landscape Contractor shall be responsible for the full replacement cost of plant materials for the first replacement and share subsequent replacement (s) costs equally with the Owner, should the replacement plant fail to survive.
- 1.09

A.

CARE AND MAINTENANCE:
The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.
- B.

The Owner agrees to execute the instructions for such care and maintenance.
- 1.10

A.

SAFETY:
It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.
- B.

It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety And Health Act (O.S.H.A.).
- 1.11

A.

CONTRACTOR QUALIFICATION:
The Owner may require the apparent contractor (s) to qualify him/herself to be a responsible entity by furnishing any or all of the following documentary data:

1.

A financial statement showing assets and liabilities of the company current to date.

2.

A listing of not less than (3) completed projects of similar scope and nature.

3.

Permanent name and address of place of business.

4.

The number of regular employees of the organization and length of time the organization has been in business under the present name.

1.12

A.

INSURANCE AND BONDING:
The contractor (s) shall submit proof of insurance for this job for the time period that the work is done. The minimum amount of insurance shall be \$300,000.00 per person and \$300,000.00 per aggregate or as required by owner and agreed to in the contract. The successful bidder shall be required to have this coverage in effect before beginning work on the site.

B.

The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment obligations arising thereunder as stipulated in bidding requirements or specifically required in the Contract Documents on the date of execution of the Contract.

1.13

A.

PERMITS AND CERTIFICATES:
All contractors shall secure and pay for all permits and certificates required for his/her class of work.

PART 2: MATERIALS

- 2.01

A.

PLANT MATERIALS:
A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on the drawings shall govern.
- B.

Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet applicable codes, a letter of variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of smaller size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the drawings.
- C.

All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting.
- D.

All plant materials shall be nursery grown, unless otherwise noted, Florida #1 or better and shall comply with all required inspections, grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current addition and Grades and Standards for Nursery Plants, most current addition.
- E.

Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.
- F.

The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

2.02 INSPECTION

- A.

The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.

- 2.03

A.

PROTECTION OF PLANT MATERIALS:
Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.

- B.

Plants with broken, damaged or insufficient rootballs will be rejected.
- C.

All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.

- D.

Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.

- 2.04

A.

STORAGE
All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.

- B.

No plant material shall be stored longer than seventy-two (72) hours unless approved by Landscape Architect and/or owner.

- C.

The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.

- D.

All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.

- 2.05

A.

PROTECTION DURING PLANTING:
Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods. Battens shall NOT be attached to the tree with nails

- 2.06

A.

TOP SOIL:
Planting soil for all plantings shall consist of topsoil and be natural, friable, fertile, fine loamy soil possessing characteristics of representative topsoil in the vicinity of the project site that produces heavy growth. Topsoil shall have a PH range of 5.5-7.4, free from subsoil, weeds, litter, sods, clay, stones, stumps, roots, trash, herbicides, toxic substances, or any other material which may be harmful to plant growth, or hinder planting operations. Topsoil shall contain a minimum of 3% organic material. Topsoil must percolate water at a rate of 1" per hour (See also drainage testing detail for trees)

- B.

Landscape Area Preparation. The intent of this section is to ensure a healthy growing environment for all planting material in all landscaped areas. Landscape Contractor to examine existing soils prior to planting to ensure conformance to all definitions of "Topsoil" (see Landscape Area Preparation Detail); In addition, a 3" layer of high organic (min 40%) potting soil shall be added to the topsoil and mixed in at time of planting. *East Coast Recycling Inc.* is a recommended source for imported Topsoil (if needed) as well as the top 3" layer of potting soil.

- A.

Existing soils must meet all definitions of "Topsoil" as described above in all planting areas throughout the site. If existing soils do not meet all definitions of Topsoil, please refer to the "Landscape Area Preparation" detail. Examination may require existing soils to be tested by an accredited testing laboratory. Should a soil test be necessary, Contractor shall contact soil testing lab directly to confirm such lab's soil collection and transmittal protocol; all costs if any shall be borne by the Contractor. Contractor shall provide to Landscape Architect for review the results of the soil test if conducted. Contractor shall schedule an on-site meeting with Landscape Architect to review existing and/or imported soils prior to planting. The Landscape Area Preparation is the responsibility of the Landscape Contractor. He/she shall except all responsibility of planting soils and shall honor all guarantee items in section 1.08.

- 2.07

A.

FERTILIZER:
Commercial fertilizer shall comply with the state and local fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected.

- B.

Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.

- C.

Tabletized fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tabletized fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates:

- A.

1 gallon container

1 tablet

3 gallon container

2 tablets

5 gallon container

3 tablets

7 gallon container

5 tablets

- A.

Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material. The Landscape Architect reserves the right to inspect and review the application of fertilizers.

- 2.08

A.

MULCH:
Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited.

- B.

All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep 6" away from tree & palm trunks or as required by local jurisdiction.

- PART 3

3.01

A.

EXECUTION DISCING:
The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables and the pipes and hydrants of watering systems. Should such overhead or underground obstructions be encountered which interfere with planting, the Owner shall be consulted and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.

- 3.02

A.

GRADING:
Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.

- B.

It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation so as to bring sod and planting areas to their proper elevations in relation to walks, paving, drain structures, and other site conditions. The site grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be modified.

- 3.03

A.

PLANTING:
Planting shall take place during favorable weather conditions.

- B.

The Contractor shall call for utility locates and ascertain the location of all utilities and easements so proper precautions can be taken not to damage or encroach on them.

- C.

Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.

- D.

Excavation of holes shall extend to the required subgrades as specified on the planting diagrams located in the landscape plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams".

- E.

A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Details for complete testing methods and requirements.

- F.

Planting pits shall be excavated to the following dimensions and backfilled with Topsoil- see Landscape Area Preparation Detail:
1 Gallon material (1 gal.): 12" x 12" x 12" min.
3 Gallon material (3 gal.): 20" x 20" x 18" min.
Lerio material (7 gal.): 30" x 30" x 24" min.
Field grown material and trees: 1-1/2 times width of ball and depth of ball plus 12" min.

- G.

No planting or laying of sod shall be initiated until the area has been cleaned of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade, with positive drainage away from buildings and towards drain inlets and swales and approved by Landscape Architect or owner's rep.

- H.

Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.

- I.

All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wire, stakes, etc., shall be removed from sides and top of the ball and removed from hole before filling in.

- J.

All flagging ribbon shall be removed from trees and shrubs before planting.

- K.

Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to Owner.

- L.

All palms shall be backfilled with sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future watering's. Saucer areas shall be top-dressed two (2") inches deep with topsoil raked and left in a neat, clean manner.

- 3.04

A.

PRUNING:
Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character.

- B.

Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angles to line of growth will not be permitted.

- C.

Trees shall not be poled or topped.

- D.

Remove all trimming from site.

- 3.05

A.

GUYING:
All trees over six (6') feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge malleable galvanized iron, in tripod fashion. See Detail.

- B.

Wires shall not come in direct contact with the tree but shall be covered with an approved protection device at all contact points. Wires shall be fastened in such a manner as to avoid pulling crotches apart.

- C.

Stake & Brace all trees larger than 12' oa. See detail. Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support each tree.

- D.

Turnbuckles for guying trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain tight guy wires.

- 3.06

A.

WATER:
Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.

- B.

Prior to installing any irrigation system components, the contractor shall obtain a water sample from the proposed water supply and conduct a particle size and count analysis on the sample using the services of a reputable lab certified in such analysis. Submit the test results to the owner/owner's representative for review and approval. Do not proceed further with system installation until given written approval to do so.

- 3.07

A.

SOD:
The Landscape Contractor shall sod all areas indicated on the drawings.

- B.

It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, eliminating all bumps, depressions, sticks, stones, and other debris.

- C.

The sod shall be firm, tough texture, having a compacted growth of grass with good root development. It shall contain no noxious weeds, or any other objectionable vegetation, fungus, insects, or disease. The soil embedded in the sod shall be good clean earth, free from stones and debris.

- D.

Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.

- E.

6-6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.

- F.

Solid sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface.

- G.

The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting curbs, walks, paving and wood borders to allow for building turf.

- H.

If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly washed in.

- 3.08

A.

SEEDING:
The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre.

- B.

Application: Argentine Bahia Grass seed- 200 Pounds per acre mixed with common hulled Bermuda seed- 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions.

- C.

Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.

- D.

Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.

- 3.09

A.

CLEANING UP:
The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.

- 3.10

A.

MAINTENANCE:
Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or upright positions, spraying, restoration of planting saucer and/or any other necessary operations.

- B.

Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.

- C.

Replacement of plants during the maintenance period shall be the responsibility of the Contractor, excluding vandalism or damage on the part of others, lighting, or hurricane force winds, until final acceptance.

- D.

In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.

- E.

Trees or other plant material which fail or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane force winds.

- 3.11

A.

COMPLETION, INSPECTION AND ACCEPTANCE:
Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor.

- B.

Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.

- C.

All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.

- D.

After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

- E.

All trees & shrubs shall be straight and in correct position per the landscape plans, details and specifications. All nursery, shipping and identification tags & ribbons shall be removed from trees & shrubs immediately after planting.



Key / Location:



Project Team:

Applicant:
M&M Realty Partners
1260 Stelton Rd
Piscataway, NJ 07704
703-839-3776

Engineer:
Maser Consulting
410 Eagleview Blvd, Suite 104
Exton, PA 19341
610-254-9140

Surveyor:
Stephen J Brown Inc
619 E. 5th St
Stuart, FL 34994
772-288-7176

Landscape Architect/Land Planner:
Lucido & Associates
701 E Ocean Blvd
Stuart, FL 34904
772-220-2100

KANNER CPUD

Landscape Plan Specifications

City of Stuart, Florida

Date	By	Description
12.17.20	SAW	Initial Submittal
03.19.21	SAW	2nd ReSubmittal
04.22.21	SAW	3rd ReSubmittal

NORTH

SCALE: 1" =

0

REG. # 1018
Thomas P. Lucido

Designer: SAW

Manager: DF

Project Number: 20-620

Municipal Number: ---

Computer File:

Sheet

LA6

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